



## Arlington Zoning Board of Appeals

**Date:** Tuesday, February 27, 2024  
**Time:** 7:30 PM  
**Location:** Conducted by Remote Participation  
**Additional Details:**

### **Agenda Items**

#### **Administrative Items**

1. **Conducted by Remote Participation**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Healey's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: Massachusetts Open Meeting Law

For additional information on Arlington's Zoning Board please visit their website. Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's Agendas and Minutes page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to [ZBA@town.arlington.ma.us](mailto:ZBA@town.arlington.ma.us) 48 hours prior to the start of the meeting.

You are invited to a Zoom meeting.  
When: Feb 27, 2024 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:  
<https://town-arlington-ma-us.zoom.us/meeting/register/tZYsfuCtrjwiEt0aVPWz-YQiWHeJulfJTS>

After registering, you will receive a confirmation email containing information about

joining the meeting.

### **Hearings**

2. **#3784 71 Egerton Road**
3. **#3785 51 Burch Street**
4. **#3786 19 Chatham Street**

### **Meeting Adjourn**



## **Town of Arlington, Massachusetts**

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### **Conducted by Remote Participation**

#### **Summary:**

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## Town of Arlington, Massachusetts

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### #3784 71 Egerton Road

#### ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3784_Egerton_Road_Legal_ad.pdf	#3784 Egerton Road Legal ad
▢ Reference Material	#3784_71_Egerton_Road_Special_Permit.pdf	#3784 71 Egerton Road Special Permit
▢ Reference Material	#3784_71-73_Egerton_rd_Arlington_-_Plans_Thu_Jan_18_2024_16-04-09.pdf	#3784 71-73_Egerton_rd_Arlington_-_Plans_Thu_Jan_18_2024_16-04-09



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Winwin Properties, LLC** of Arlington, MA. on January 24, 2024, a petition seeking to alter their property located at **71 Egerton Road- Block Plan 005.0-0003-0013.0**. Said petition would require a **Special Permit** under **Section 5.4.2(A)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on February 27, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3784**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



## SP-24-2

Special Use Permit  
Application (ZBA)

Status: Active

Submitted On: 1/23/2024

## Primary Location

71 EGERTON RD  
Arlington, MA 02474

## Owner

Winwin Properties, LLC.  
Hancock St. 165 Braintree,  
MA 02184

## Applicant

 Jeremy Gavin  
 508-246-0460  
jeremy.gavin@homevestors.com  
 165 Hancock St.  
Braintree, MA 02184

## Special Permit Criteria

**Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.\***

We are requesting a special permit base on the zoning bylaw 3.3.4 section A. "Dimensional standards more restrictive than those set forth in Section 5 of this Bylaw;" We have a total GSF of 1218sqft on the existing finished first floor and 1463sqft on the existing finished 2nd floor. The existing building and lot is currently non conforming due to lot size. We are proposing to add 1218 gross sqft additional space in the existing unfinished basement to add to 71 Egerton. Of which 840sqft is finished space and 378ssqft is common storage and utility rooms. We are also propping to add 2 dormers to the existing unfinished 3rd floor walk up attic. 1 small dormer forward on the property to give increased headroom on the stairway form the 2nd to 3rd floors and the other larger dormer on the rearward portion to provide headroom for a master bedroom and full bathroom. The total GSF of this space is 762sqft with the FFloor area with 7ft or taller headroom is 399sqft and this would be added to 73 Egerton Unit. Total proposed GSF of the building will be 4808sqft requiring 1442 sqft of open space. The rear yard is the only space large enough to fit the definition of open space. The property curenly has approx 840sqft (28' x 30') of open space in this area. The garage also in the rear of the lot and is approx 23' x 20'.

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

There is an existing unfinished full basement and existing unfinished walk up attice that we propose to finish into living space. There is a shortage of housing in the greater boston area and by utilizing these spaces we are creating 4 more bedrooms that families can occupy.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

There are currently 2 existing units in the building and we are adding the proposed Sqftage to the existing 2 units so we are not adding units. There is an existing 2 car garage and parking for 4 additional cars in the driveway so the increase in size should not increase the need for street parking.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

The additional space looking to be utilized is not unusual in the neighborhood. The town water and sewage should be more than addiquate to handle 4 additional bedrooms and no additional kitchens.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

We are not adding any additional structures beyond the existing foundation of the property. By keeping the existing garage that adds 2 additonal off street parking that would be lost with the removal of it. We are not adding additonal units to the property. We are increasing the living square footage of the existing units by utilizing existing unfinished space.

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

We are not changing the architecture of the property. The property currently has similar architecture to the surround homes and will remain that way. We are looking to utilize existing gross square footage in the full basement and existing 3rd floor walk up attic.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

The neighborhood is made up of many multi unit buildings and this property fits into that use and look of the neighborhood.

## Dimensional and Parking Information

### Present Use/Occupancy \*

Residential 2 units each with 2 bedrooms for a total of 4 bedrooms

### Proposed Use/Occupancy \*

Residential 2 units each with 4 bedrooms for a total of 8 bedrooms

### Existing Number of Dwelling Units\*

2

### Proposed Number of Dwelling Units\*

2

### Existing Gross Floor Area (Sq. Ft.)\*

2940

### Proposed Gross Floor Area (Sq. Ft.)\*

4808

### Existing Lot Size (Sq. Ft.)\*

5160

### Proposed Lot Size (Sq. Ft.)\*

5160

### Minimum Lot Size required by Zoning\*

6001

### Existing Frontage (ft.)\*

50

### Proposed Frontage (ft.)\*

50

### Minimum Frontage required by Zoning\*

60

### Existing Floor Area Ratio\*

0.94

### Proposed Floor Area Ratio\*

0.94

### Max. Floor Area Ratio required by Zoning\*

0

### Existing Lot Coverage (%)\*

0.24

### Proposed Lot Coverage (%)\*

0.24

### Max. Lot Coverage required by Zoning\*

35



Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

2580

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

2580

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

10.25

Proposed Front Yard Depth (ft.)\*

10.25

Minimum Front Yard Depth required by Zoning\*

20

Existing Left Side Yard Depth (ft.)\*

17.67

Proposed Left Side Yard Depth (ft.)\*

17.67

Minimum Left Side Yard Depth required by Zoning\*

10

Existing Right Side Yard Depth (ft.)\*

5.67

Proposed Right Side Yard Depth (ft.)\*

5.67

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

30

Proposed Rear Yard Depth (ft.)\*

30

Minimum Rear Yard Depth required by Zoning\*

20

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

35

Proposed Height (ft.)\*

35

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

514

Proposed Landscaped Open Space (Sq. Ft.)\*

514

Existing Landscaped Open Space (% of GFA)\*

11

Proposed Landscaped Open Space (% of GFA)\*

11

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

840

Proposed Usable Open Space (Sq. Ft.)\*

840

Existing Usable Open Space (% of GFA)\*

32

Proposed Usable Open Space (% of GFA)\*

18

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

4

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by  
Zoning\*

2

Existing Parking area setbacks

1

Proposed Parking area setbacks \*

1

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

6

Proposed Slope of proposed roof(s) (in. per ft.)\*

6

Minimum Slope of Proposed Roof(s) required by Zoning\*

3

Existing type of construction\*

Wood frame

Proposed type of construction\*

Wood Frame

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## Open Space Information

Existing Total Lot Area\*

5160

Proposed Total Lot Area\*

5160

Existing Open Space, Usable\*

840

Proposed Open Space, Usable\*

840

Existing Open Space, Landscaped\*

514

Proposed Open Space, Landscaped\*

514

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

460

Accessory Building, Proposed Gross Floor Area

460

Basement or Cellar, Existing Gross Floor Area ?

1218

Basement or Cellar, Proposed Gross Floor Area

1218

1st Floor, Existing Gross Floor Area

1218

New Field

—

1st Floor, Proposed Gross Floor Area

1365

2nd Floor, Existing Gross Floor Area

1463

2nd Floor, Proposed Gross Floor Area

1463

3rd Floor, Existing Gross Floor Area

259

3rd Floor, Proposed Gross Floor Area

399

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,  
Existing Gross Floor Area

—

All weather habitable porches and balconies,  
Proposed Gross Floor Area

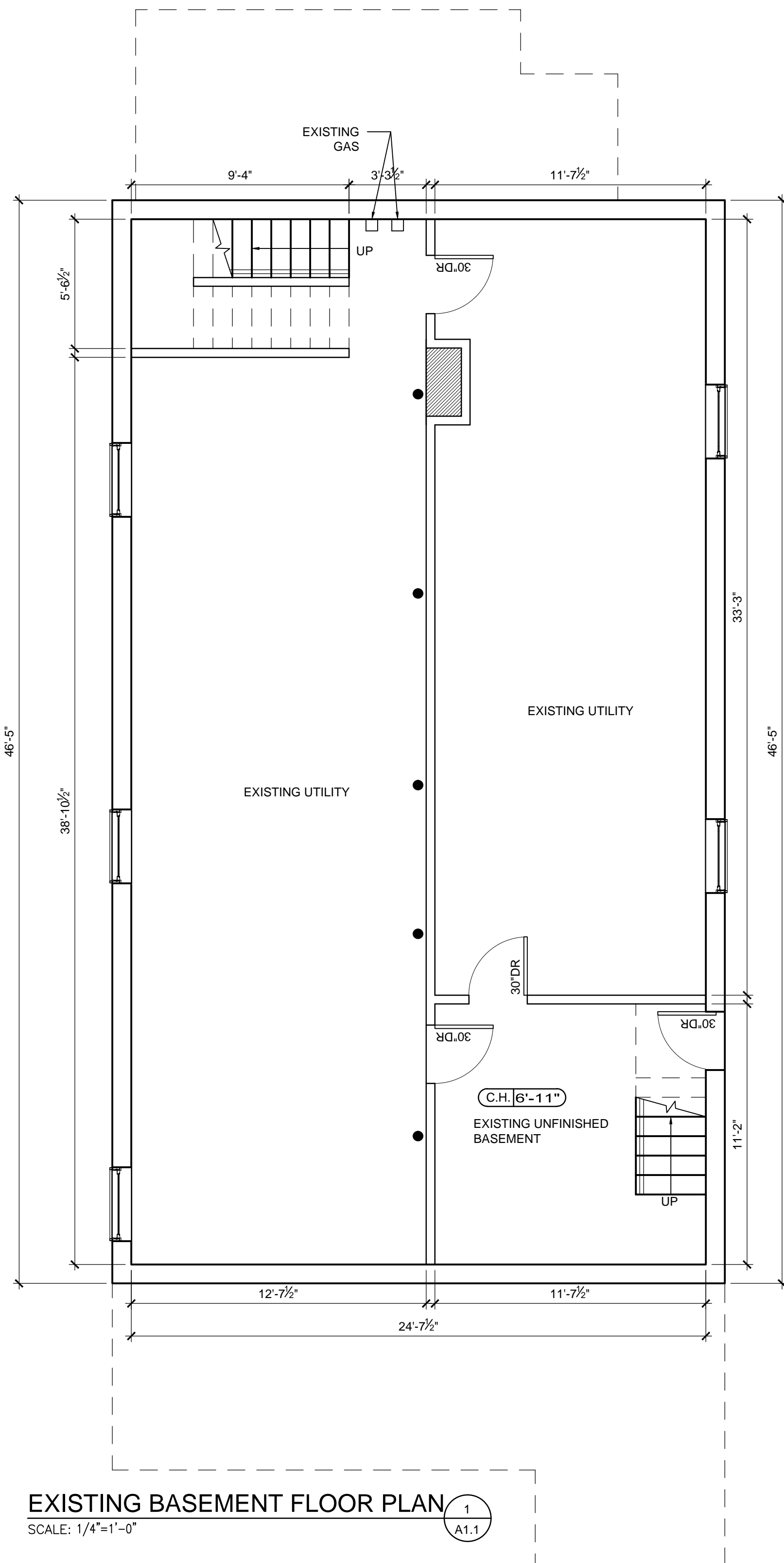
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Total Existing Gross Floor Area

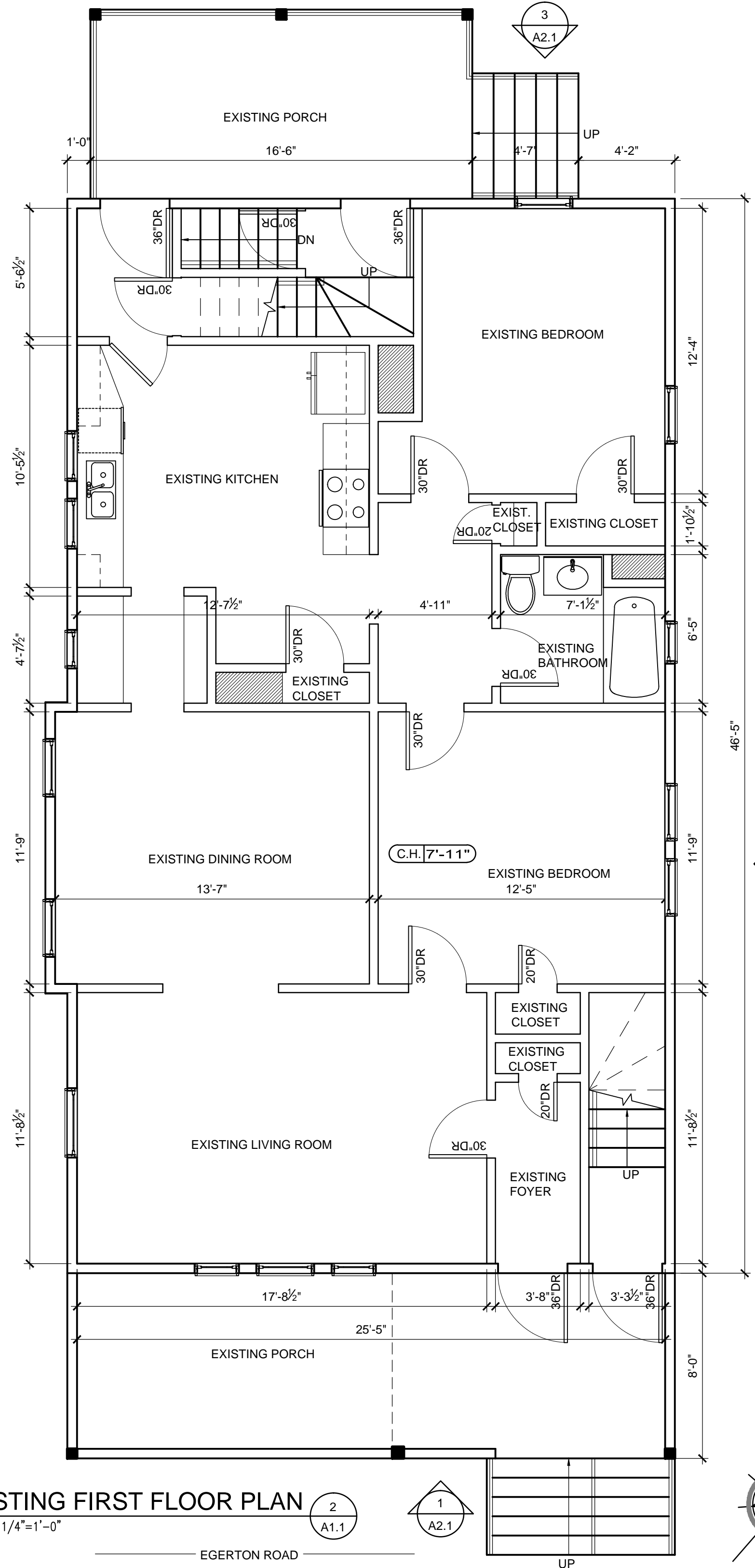
4618

Total Proposed Gross Floor Area

4905



BUILDING AREA:	
BASEMENT FLOOR:	+/- 1,218 SF.
FIRST FLOOR:	+/- 1,218 SF.
SECOND FLOOR:	+/- 1,463 SF.
ATTIC FLOOR:	+/- 615 SF.
TOTAL FLOOR:	+/- 4,514 SF.

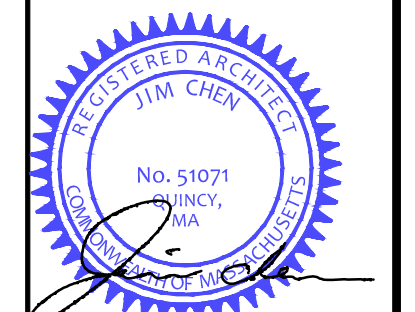


**JC BT**  
ARCHITECT

585 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE

PROJECT

EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

SHEET TITLE

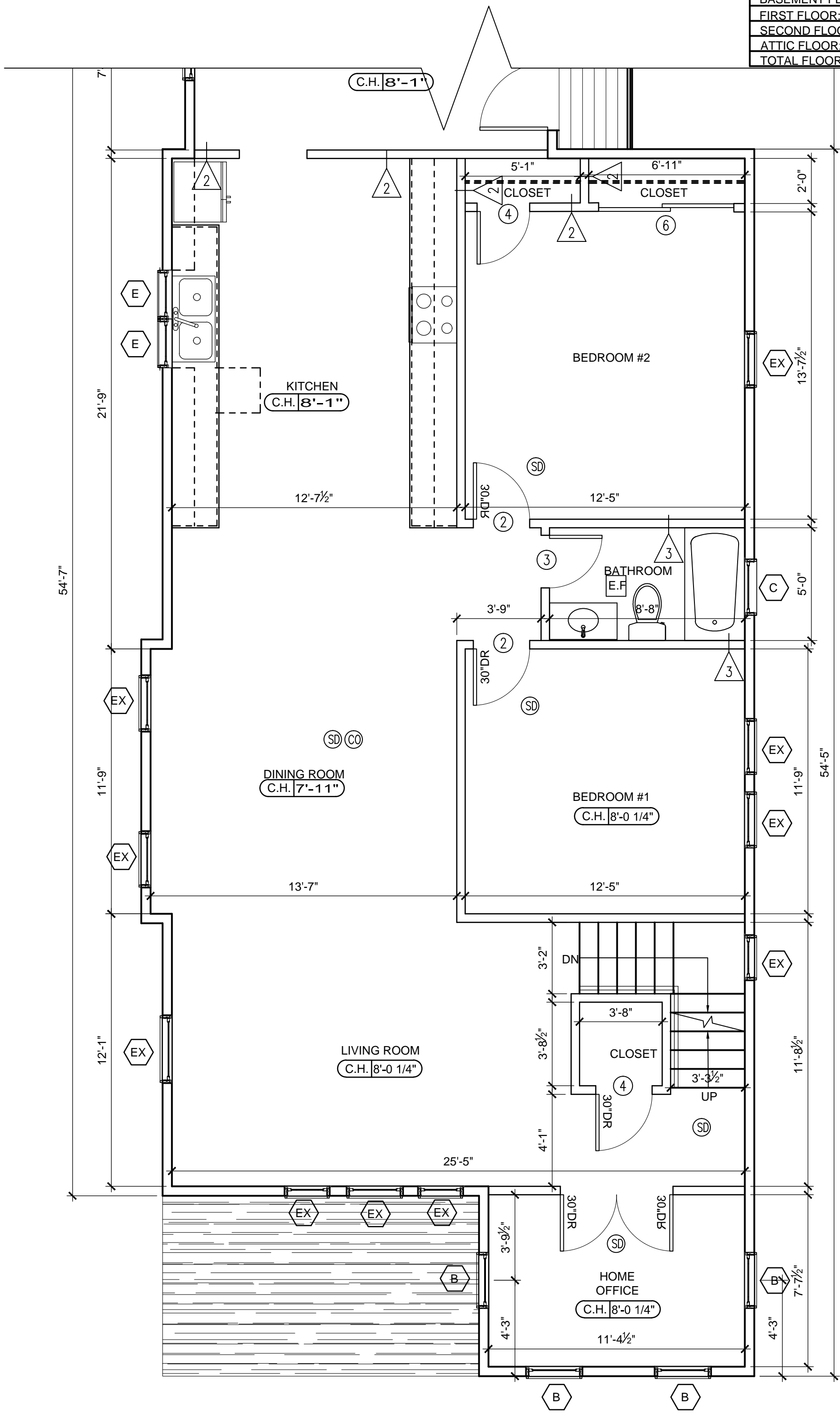
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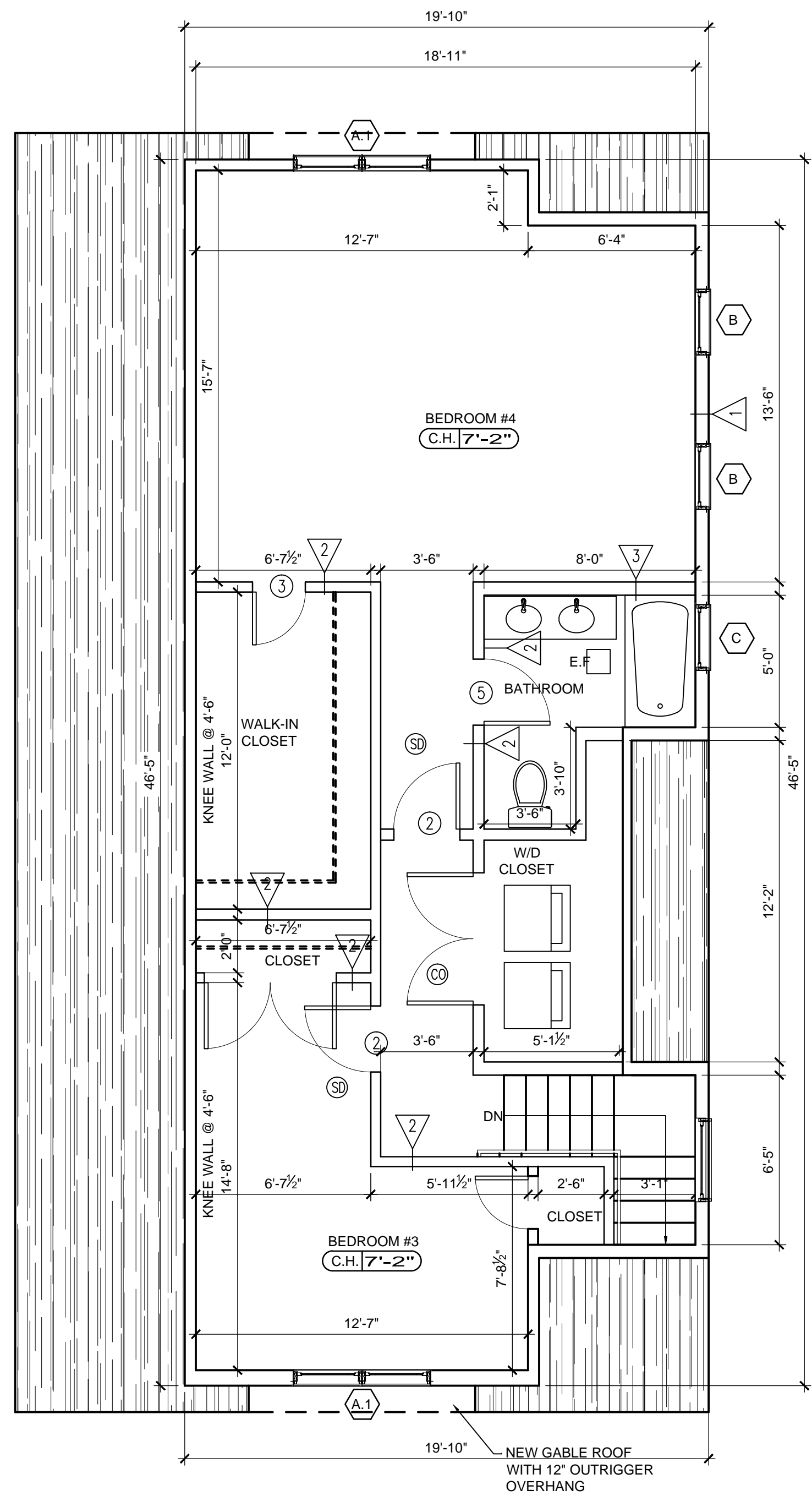




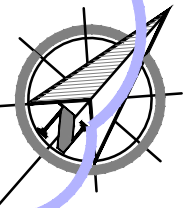
BUILDING AREA:	
BASEMENT FLOOR:	+/- 1,218 SF.
FIRST FLOOR:	+/- 1,365 SF.
SECOND FLOOR:	+/- 1,463 SF.
ATTIC FLOOR:	+/- 762 SF.
TOTAL FLOOR:	+/- 4,808 SF.



PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



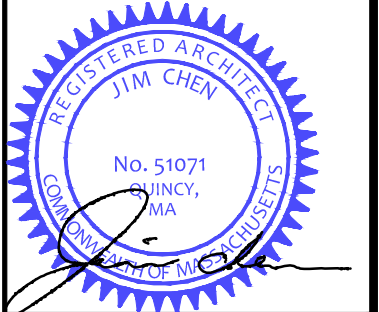
PROPOSED ATTIC FLOOR PLAN  
SCALE: 1/4"=1'-0"



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REVISIONS

NO.	BY	DESCRIPTION	DATE
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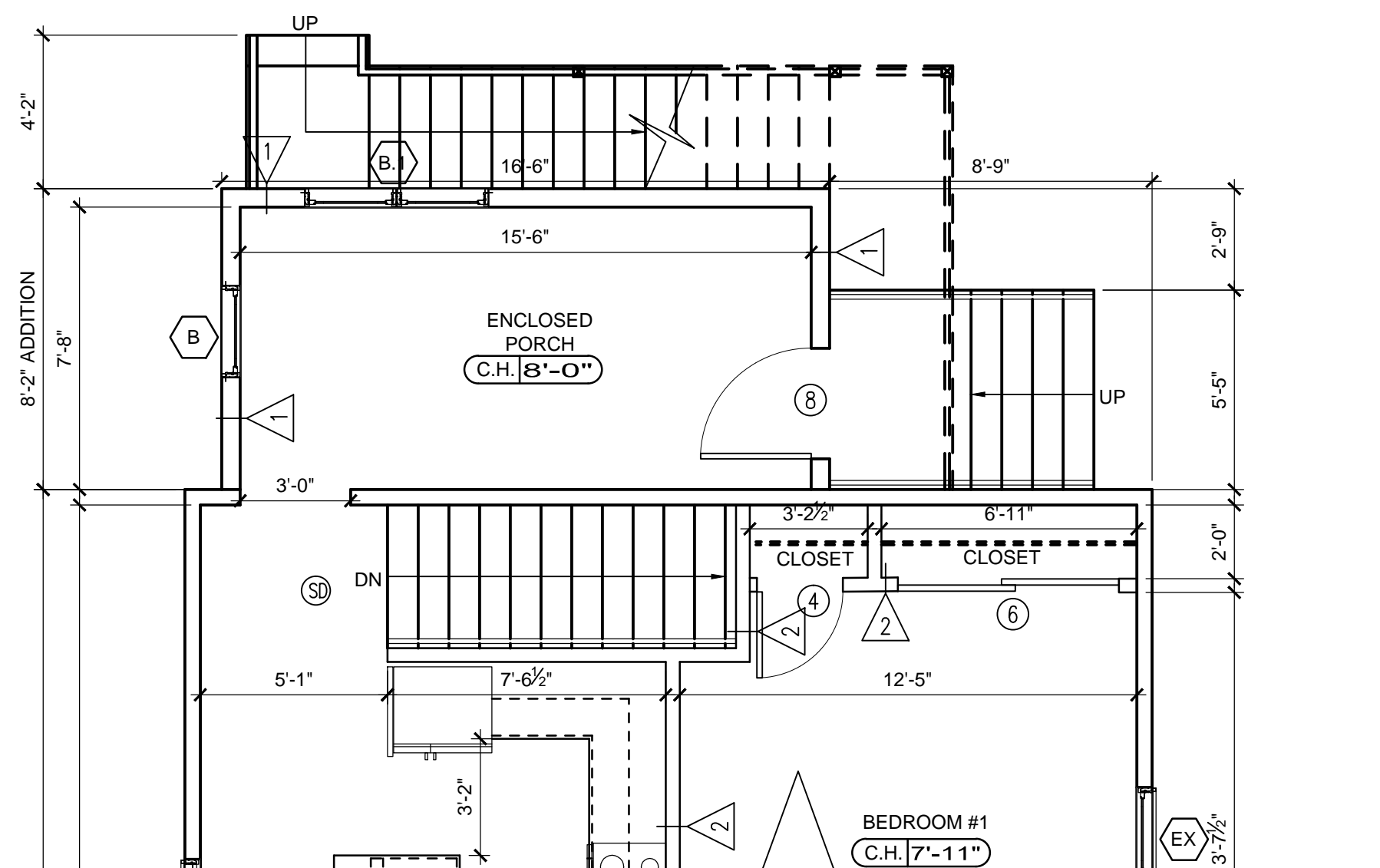
PROJECT

EXISTING  
TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA  
  
PROJECT NO. 23102

SHEET TITLE

PROPOSED  
FLOOR PLANS

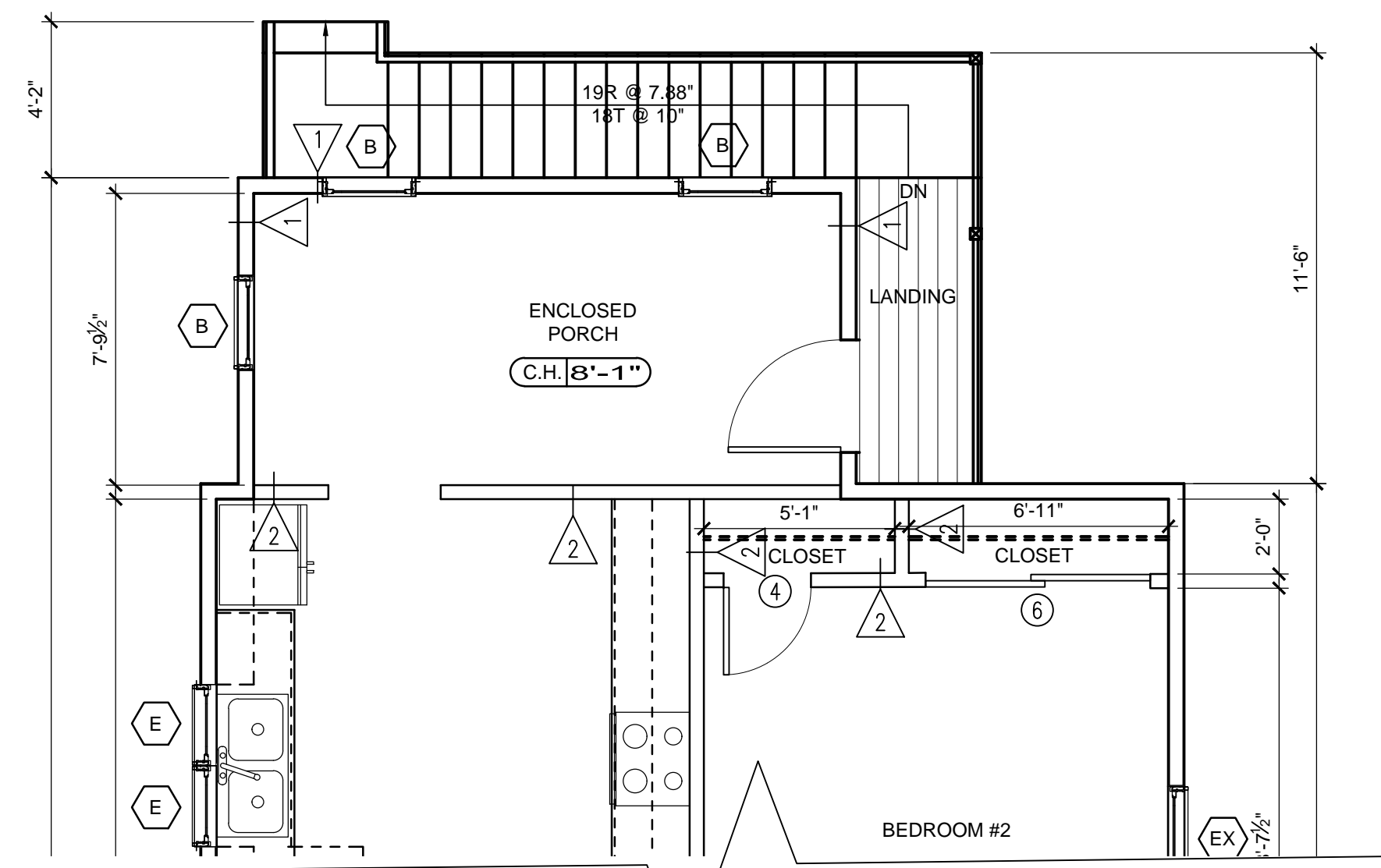
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PROPOSED PARTIAL 1ST FLOOR - DECK STAIR PLAN

SCALE: 1/4"=1'-0"

1  
A1.5



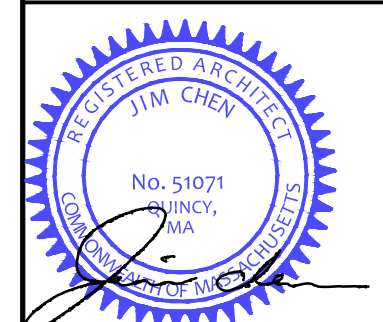
PROPOSED PARTIAL 2ND FLOOR - DECK STAIR PLAN

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A1.5

CONSULTANT

REGISTRATION



REVISIONS

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PROJECT

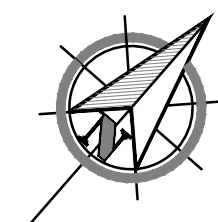
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TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

SHEET TITLE

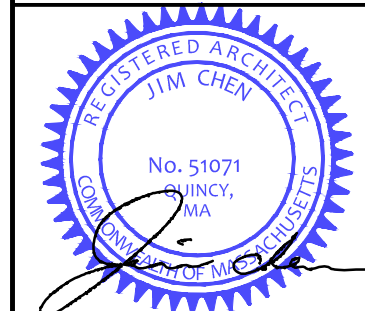
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FLOOR PLANS

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SHEET OF	





## REGISTRATION

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EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

EXISTING  
EXTERIOR  
ELEVATIONS

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DATE:	
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SHEET OF	



SCALE: 3/16"=1'-0"



SCALE: 3/16"=1'-0"





EXISTING REAR (NORTHWEST) ELEVATION  
SCALE: 3/16"=1'-0"

1  
A2.2



EXISTING LEFT (SOUTHWEST) ELEVATION  
SCALE: 3/16"=1'-0"

2  
A2.2

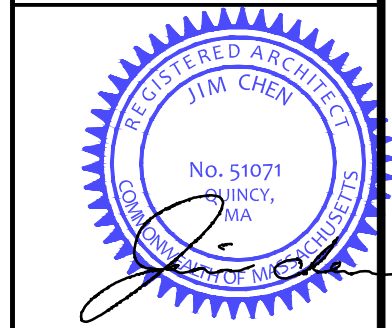
JCBT

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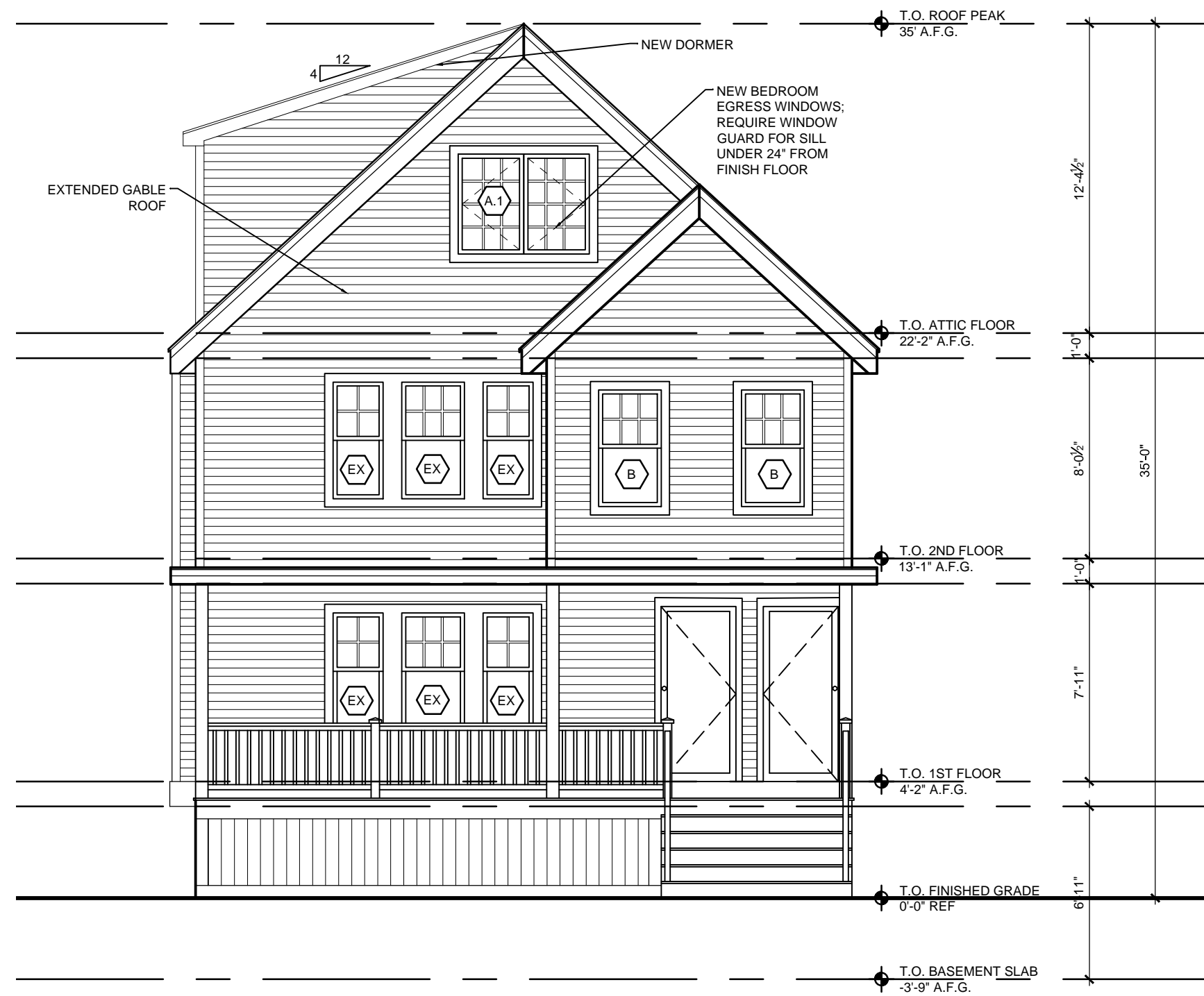
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TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA  
  
PROJECT NO. 23102

SHEET TITLE

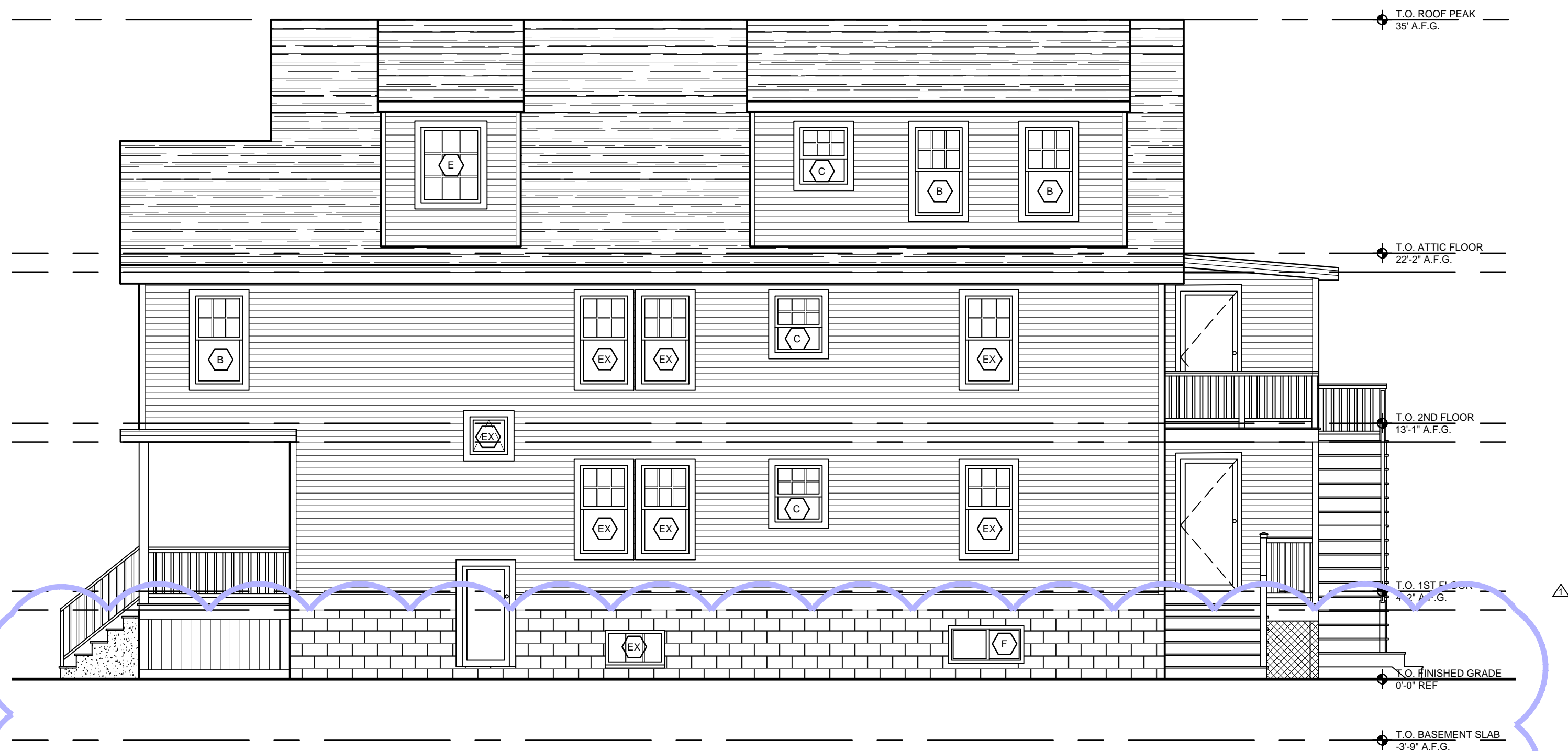
EXISTING  
EXTERIOR  
ELEVATIONS

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SHEET OF	





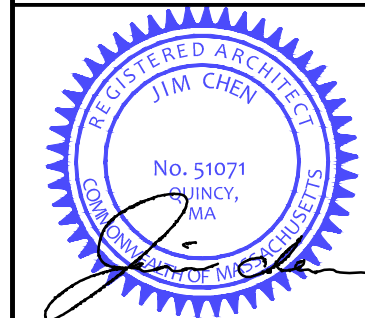
PROPOSED FRONT (SOUTHEAST) ELEVATION 1  
SCALE: 1/4"=1'-0" A2.3



PROPOSED RIGHT (NORTHEAST) ELEVATION 2  
SCALE: 1/4"=1'-0" A2.3

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REGISTRATION



REVISIONS

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1	TN	FLOOR PLANS	12/12/2023

PROJECT

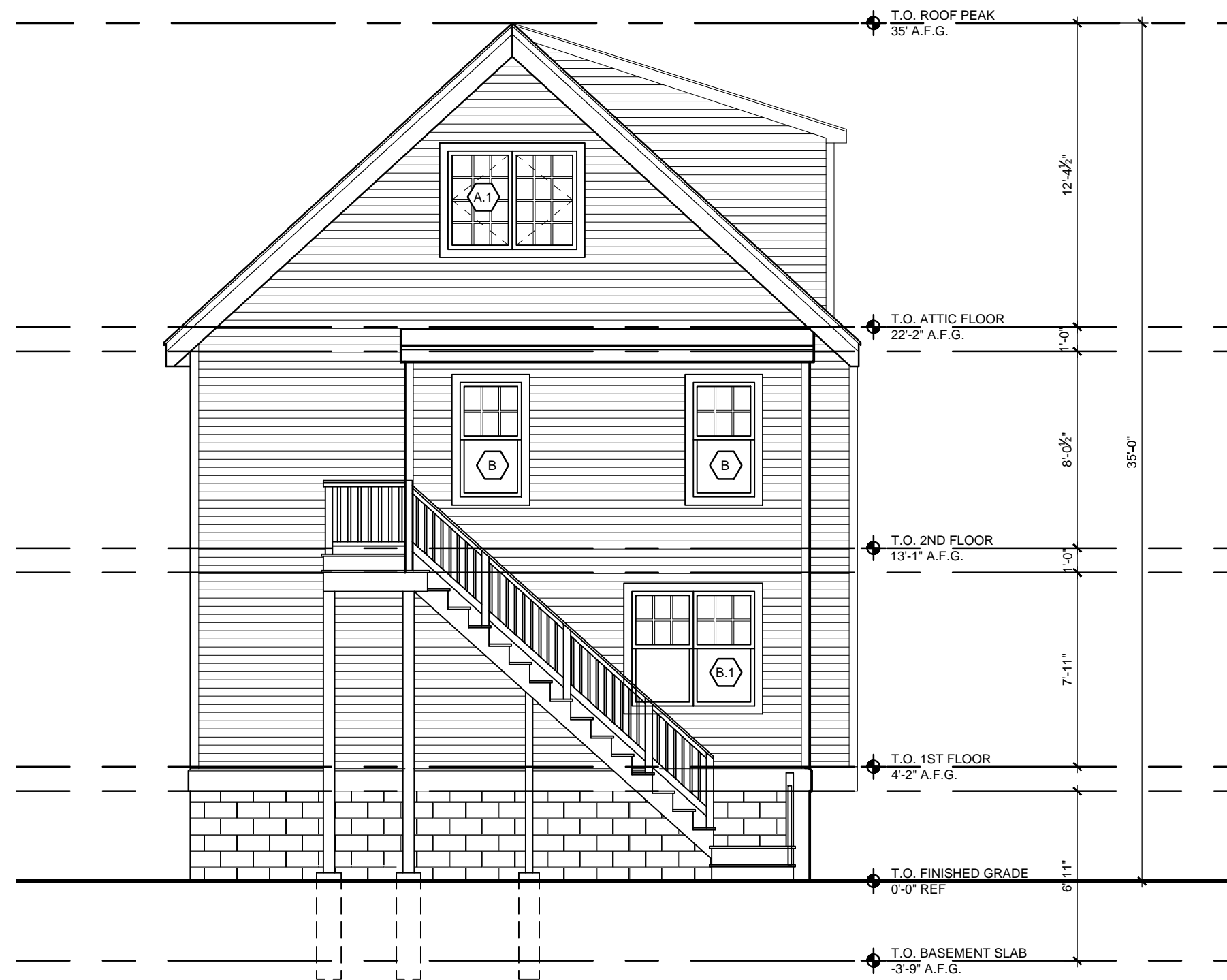
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71-73 EGERTON ROAD  
ARLINGTON, MA

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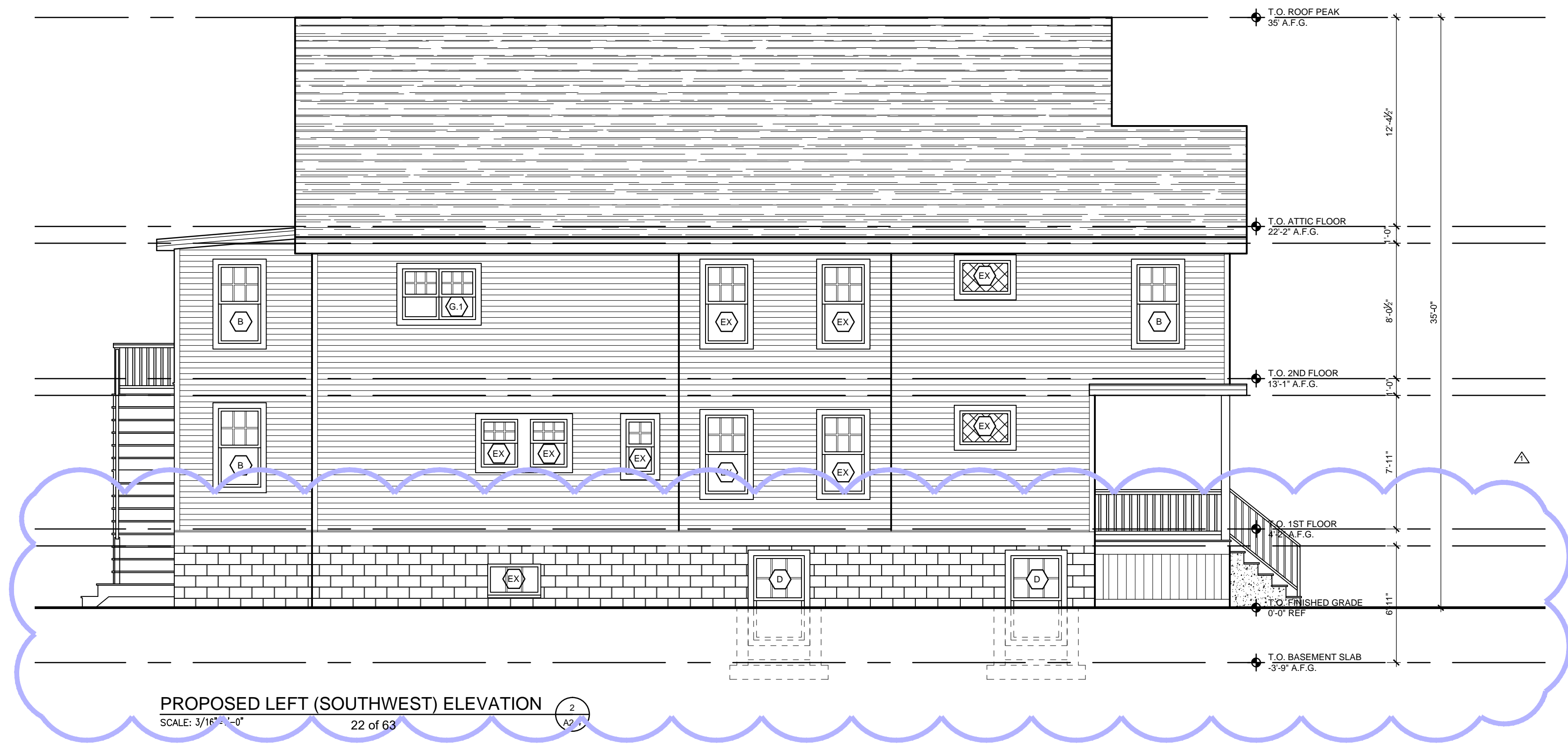
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PROPOSED  
EXTERIOR  
ELEVATIONS

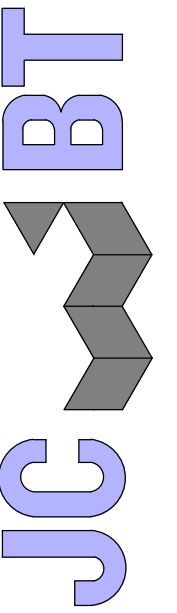
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SHEET OF	A2.3



PROPOSED REAR (NORTHWEST) ELEVATION 1  
SCALE: 3/16"=1'-0" A2.4



PROPOSED LEFT (SOUTHWEST) ELEVATION 2  
SCALE: 3/16"=1'-0" 22 of 63 A2.4



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REGISTRATION



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1	TN	FLOOR PLANS	12/12/2023

PROJECT

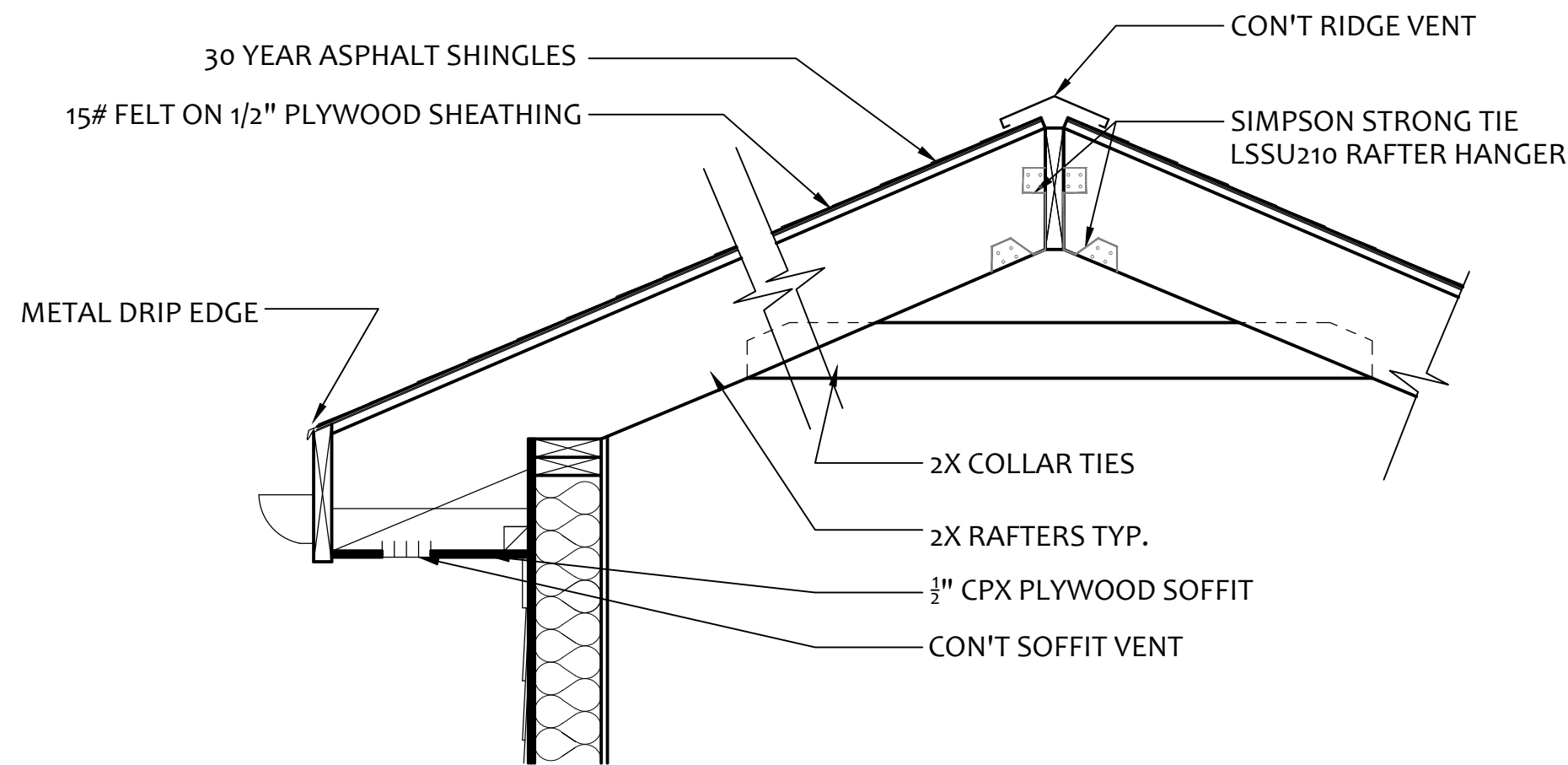
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TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

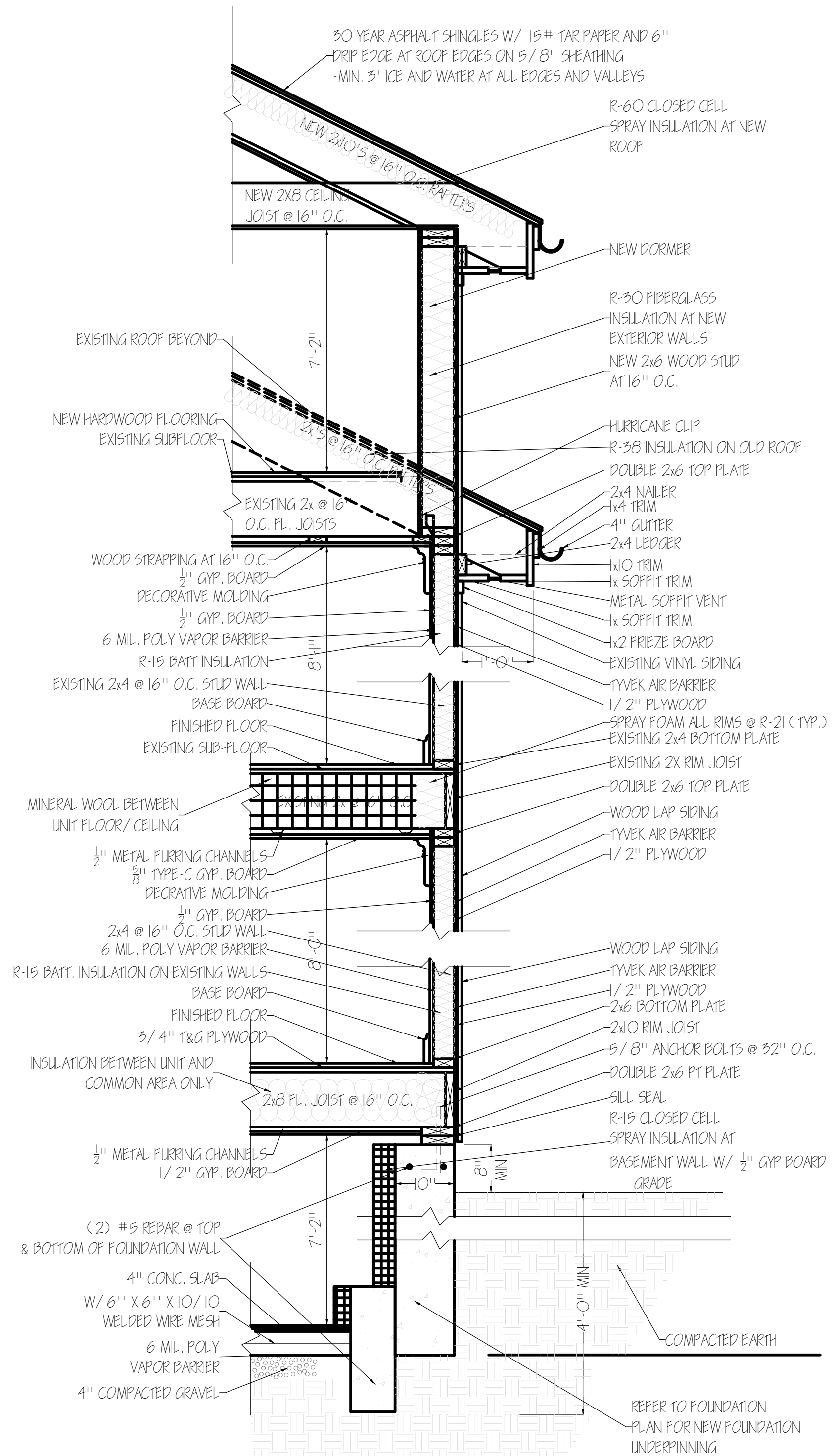
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PROPOSED  
EXTERIOR  
ELEVATIONS

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SHEET OF	



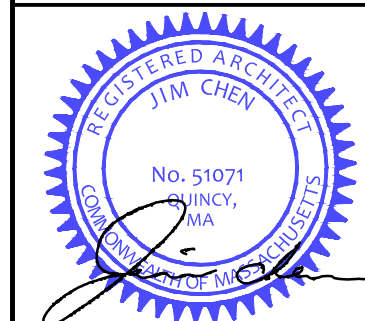
2 ROOF RIDGE DETAIL  
N.T.S.



1 PROPOSED TYPICAL WALL SECTION THRU DORMER  
3/4" = 1'-0"

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REGISTRATION



REVISIONS

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PROJECT

EXISTING  
TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

SHEET TITLE

PROPOSED  
WALL SECTIONS

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SCALE: NOTED	A3
DATE:	
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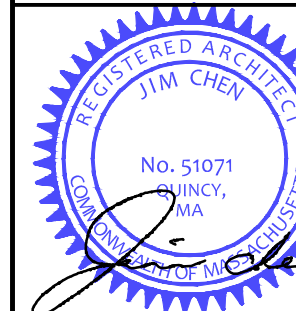
1 DOOR SCHEDULE  
N.T.S.



4	FINISH SCHEDULE
	N.T.S.

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## REGISTRATION



## REVISIONS

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PROJECT

EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

**SHEET TITLE**

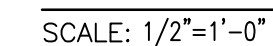
**SHEET TITLE**

## WALL TYPES WINDOWS AND DOORS SCHEDULES

DRAWN:	DRAWING NO:
SCALE: NOTED	A5
DATE:	
CHECKED:	
SHEET OF	

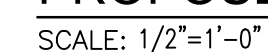
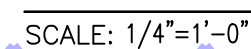
EXCAVATE AND SHORE ALL PART - A AS SHOWN ON DRAWING  
SIMULTANEOUSLY, NO PART/SECTION SHALL BE EXCAVATE MORE  
THAN 4'-0" AT A TIME. ONCE PART-A IS COMPLETED, AND NEW  
FOUNDATION AND FOOTING POURED; PROCEED TO PART-B  
SECTION AND REPEAT.

SCALE: 1/2"=1'-0"

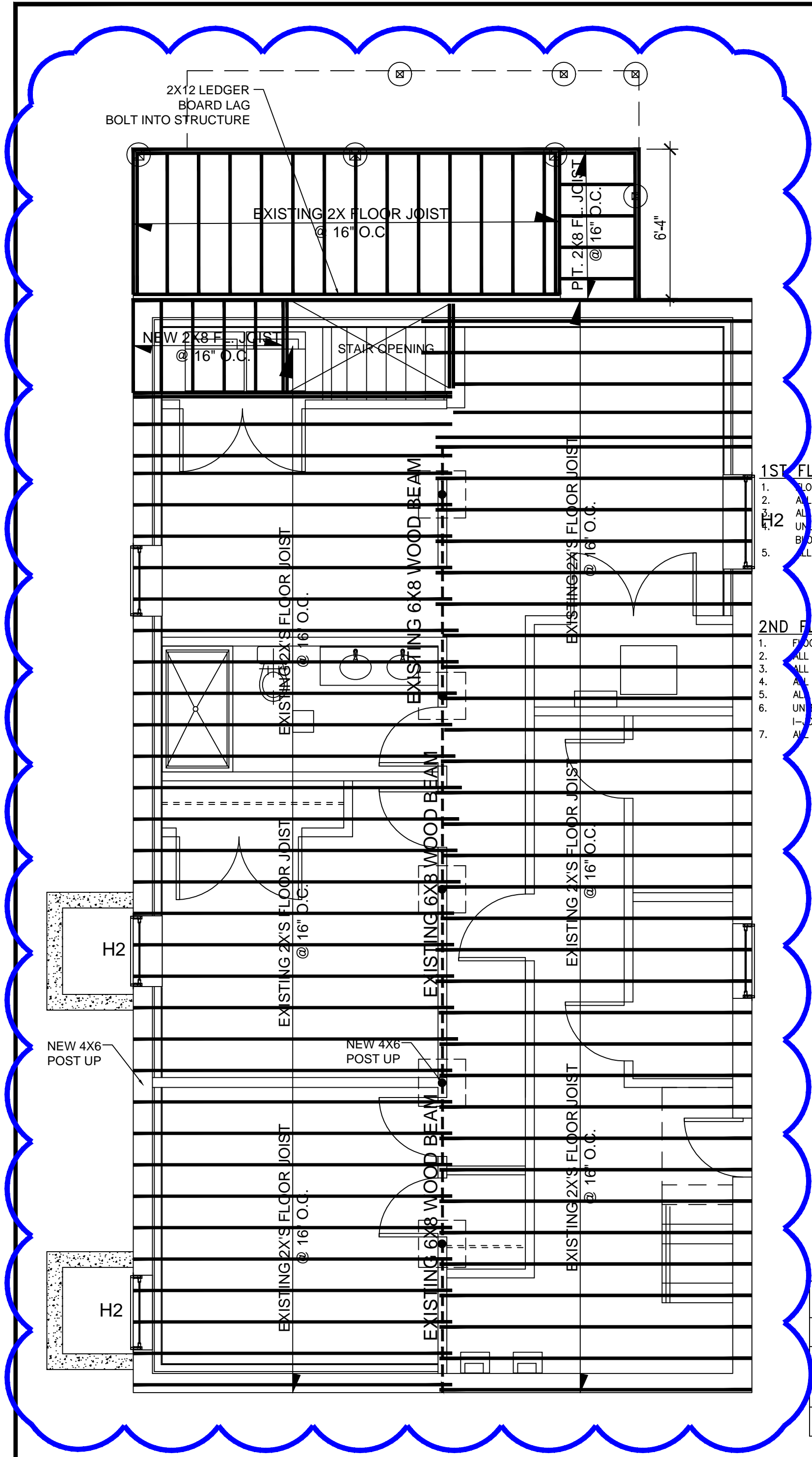
[illegible]

DRAWN:	DRAWING NO:  S1
SCALE: NOTED	
DATE:	
CHECKED:	
SHEET OF	

**JCBT**  
**ARCHITECT**  
585 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182







# 1ST FLOOR FRAMING PLAN NOTES:

1. FLOOR SHEATHING: EXISTING SUB-FLOOR
2. ALL 2x FRAMING ARE EXISTING
3. ALL JOISTS TO ALIGN WITH INTERIOR WALL STUDS
4. UNLESS FASTENED WITH HANGERS TO A FLUSH HEADER/BEAM, INSTALL SOLID 2X10 BLOCKING BETWEEN JOISTS OVER BEARING WALLS OR DROPPED BEAMS.
5. ALL FLUSH FRAMING SHALL BE CONNECTED WITH PREFABRICATED LIGHT GAUGE HANGERS

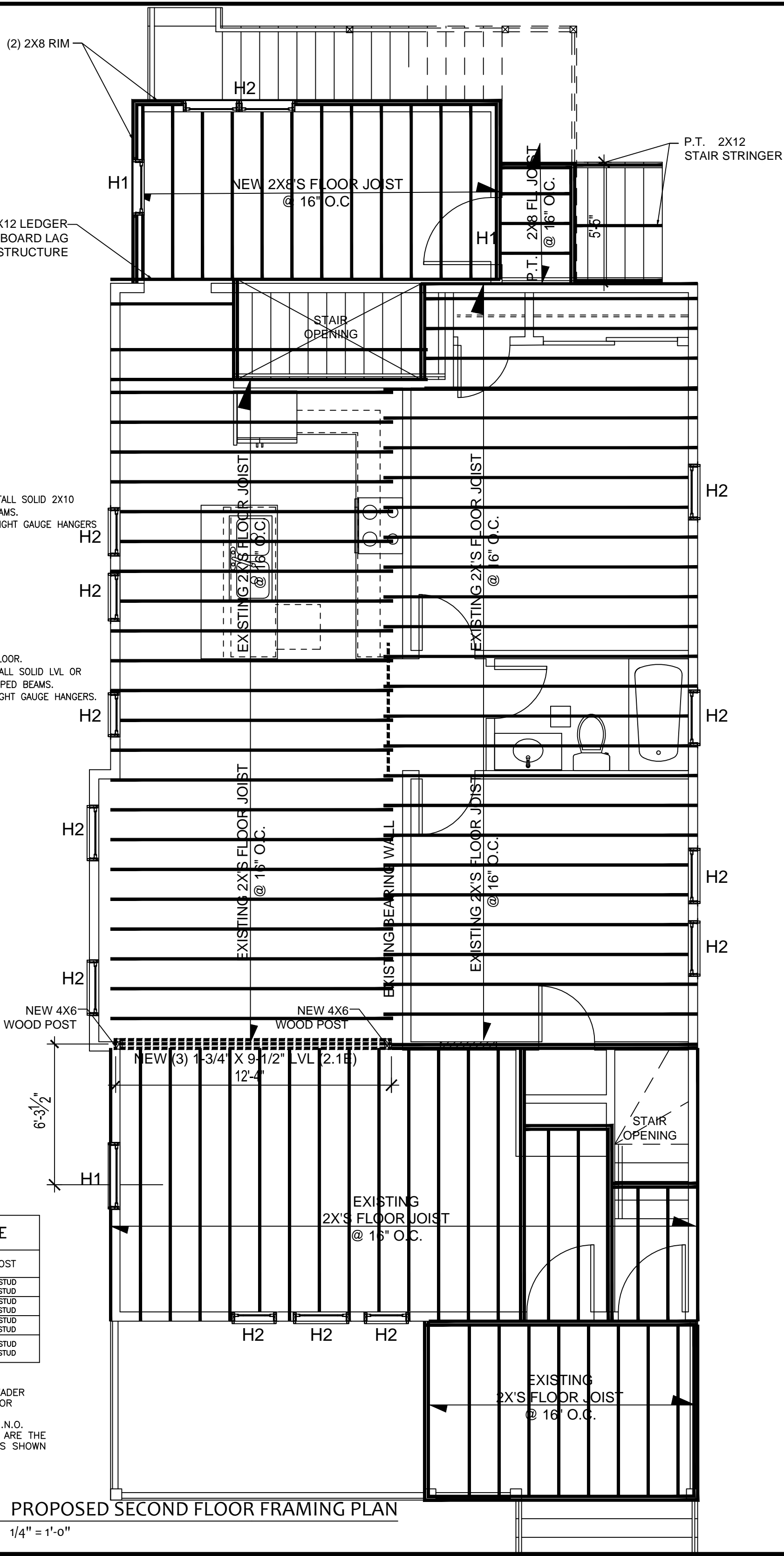
# 2ND FLOOR FRAMING PLAN NOTES:

1. FLOOR SHEATHING: EXISTING SUB-FLOOR
2. ALL 2x FRAMING ARE EXISTING
3. ALL 2x FRAMING TO BE SPF NO. 1
4. ALL JOISTS TO ALIGN WITH INTERIOR AND EXTERIOR WALL STUDS
5. ALL WALL STUDS AT EXTERIOR WALLS TO ALIGN FROM FLOOR TO FLOOR.
6. UNLESS FASTENED WITH HANGERS TO A FLUSH HEADER/BEAM, INSTALL SOLID LVL OR I-JOIST BLOCKING BETWEEN JOISTS OVER BEARING WALLS OR DROPPED BEAMS.
7. ALL FLUSH FRAMING SHALL BE CONNECTED WITH PREFABRICATED LIGHT GAUGE HANGERS.

## TYP. TIMBER HEADER SCHEDULE

DESIGNATION	TYPE	JAMB/POST
H0	(2)-2"x6"	(2) JACK STUD (1) KING STUD
H1	(2)-2"x8"	(2) JACK STUD (1) KING STUD
H2	(2)-2"x10"	(2) JACK STUD (1) KING STUD
H3	EXISTING TO REMAIN	(2) JACK STUD (1) KING STUD

- NOTE:
1. SHIM HEADERS FULL W/ 1/2" PLYWOOD SUCH THAT HEADER WIDTH IS FLUSH WITH STUDS AT INTERIOR AND EXTERIOR SURFACES.
  2. JAMB POSTS TO BE CONTINUOUS TO FNDN BELOW, U.N.O.
  3. WHERE POSTS ARE REQUIRED PROVIDE POSTS WHICH ARE THE SAME WIDTH AS THE BEAM AND DEPTH OF JACK STUDS SHOWN



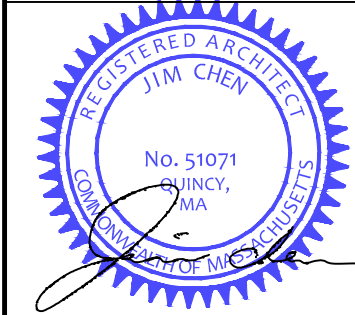
**JC BT**

ARCHITECT

585 WASHINGTON STREET, QUINCY, MA 02169  
ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

CONSULTANT

REGISTRATION



REVISIONS

NO.	BY	DESCRIPTION	DATE
1	TN	FLOOR PLANS	12/12/2023

PROJECT

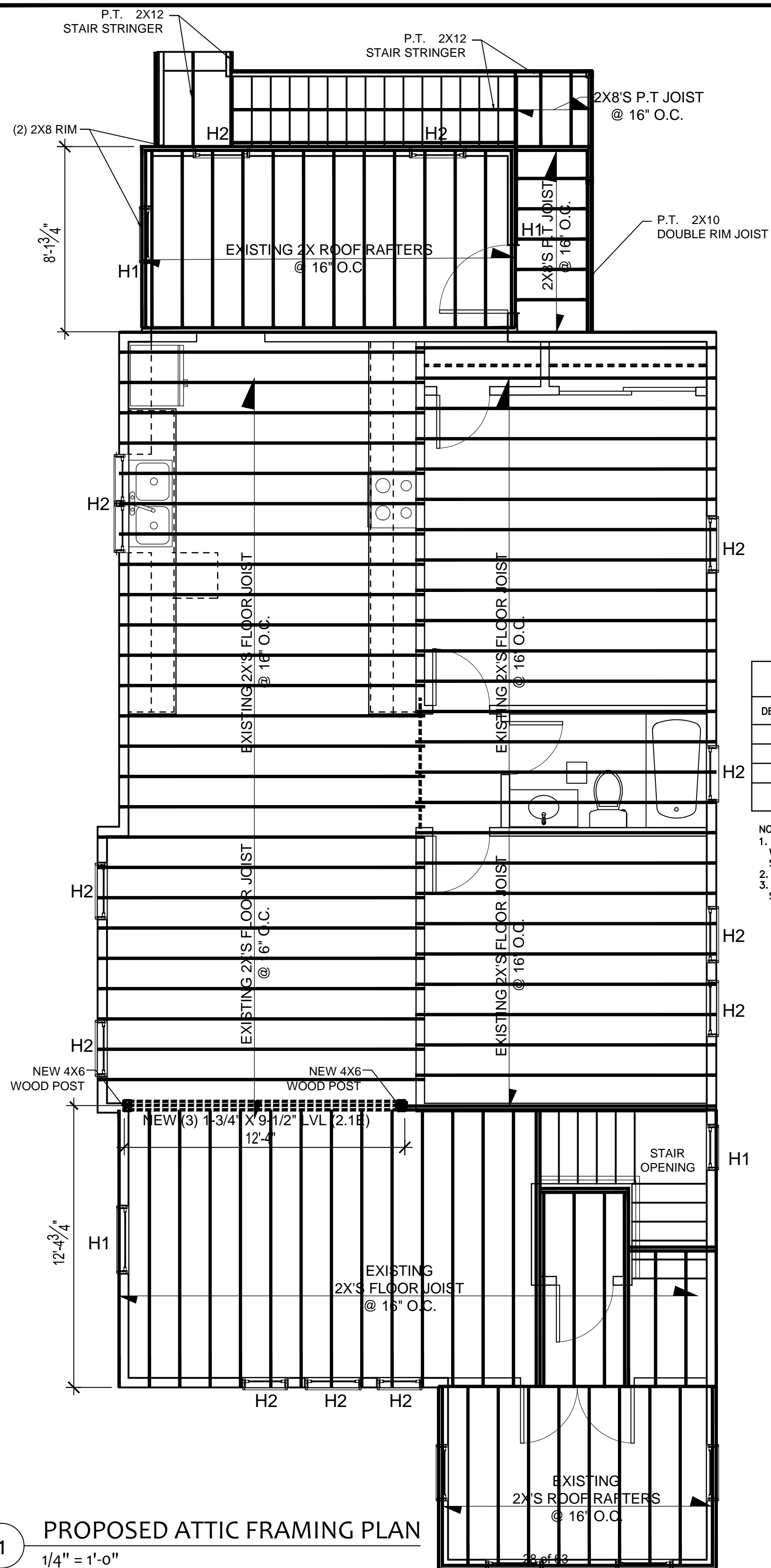
EXISTING  
TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

SHEET TITLE

PROPOSED  
FRAMING  
PLANS

DRAWN	DRAWING NO.
SCALE: NOTED	
DATE	
CHECKED	
SHEET OF	S2



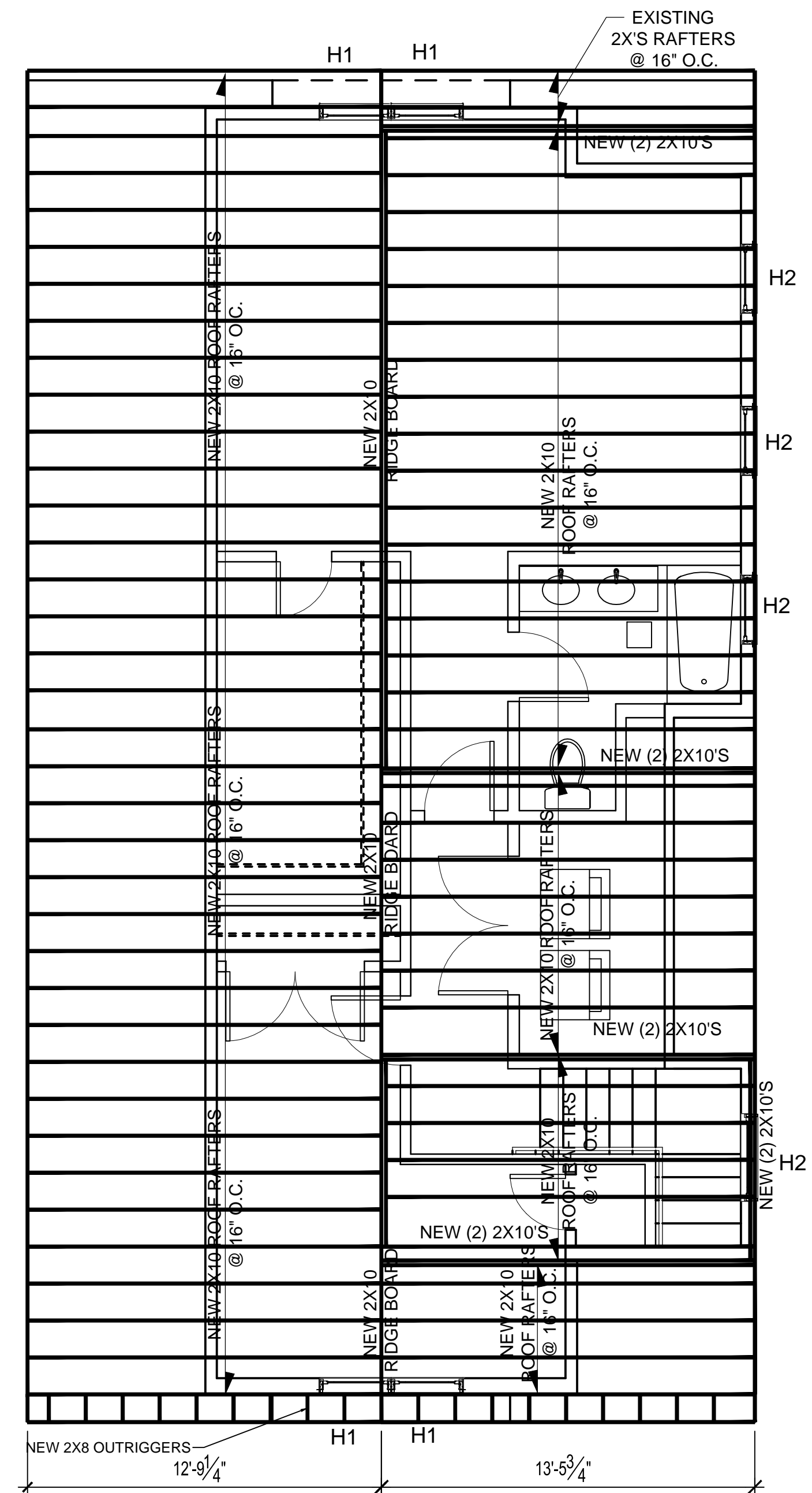
- ATTIC FLOOR FRAMING PLAN NOTES:

1. FLOOR SHEATHING: EXISTING SUBFLOOR
2. ALL 2x FRAMING ARE EXISTING
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7. ALL FLUSH FRAMING SHALL BE CONNECTED WITH PREFABRICATED LIGHT GAUGE HANGERS.

TYP. TIMBER HEADER SCHEDULE		
DESIGNATION	TYPE	JAMB/POST
H0	(2)-2"x6"	(2) JACK STUD (1) KING STUD
H1	(2)-2"x8"	(2) JACK STUD (1) KING STUD
H2	(2)-2"x10"	(2) JACK STUD (1) KING STUD
H3	EXISTING TO REMAIN	(2) JACK STUD (1) KING STUD

NOTE:

1. SHIM HEADERS FULL W/  $\frac{1}{2}$ " PLYWOOD SUCH THAT HEADER WIDTH IS FLUSH WITH STUDS AT INTERIOR AND EXTERIOR SURFACES.
2. JAMB POSTS TO BE CONTINUOUS TO FNDN BELOW, U.N.O.
3. WHERE POSTS ARE REQUIRED PROVIDE POSTS WHICH ARE THE SAME WIDTH AS THE BEAM AND DEPTH OF JACK STUDS SHOWN



- ROOF FRAMING PLAN NOTES:

1. ROOF SHEATHING: EXISTING ROOF SHEATHING
2. ALL 2x FRAMING ARE EXISTING
3. ALL 2x FRAMING TO BE SPF NO. 1
4. ALL RAFTERS TO ALIGN WITH INTERIOR AND EXTERIOR WALL STUDS.
5. ALL WALL STUDS AT EXTERIOR WALLS TO ALIGN FROM FLOOR TO FLOOR.
6. UNLESS FASTENED WITH HANGERS TO A FLUSH HEADER/BEAM, INSTALL SOLID 2X8 BLOCKING BETWEEN RAFTERS OVER BEARING WALLS OR DROPPED BEAMS.

CONSULTANT

## REGISTRATION



## REVISIONS

[illegible]

PROJECT

EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

SHEET TITLE

## PROPOSED FRAMING PLANS

DRAWN:	DRAWING NO:  S3
SCALE: NOTED	
DATE:	
CHECKED:	
SHEET OF	



## Town of Arlington, Massachusetts

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### #3785 51 Burch Street

#### ATTACHMENTS:

Type	File Name	Description
<input type="checkbox"/> Reference Material	#3785_51_Burch_Street_legal.pdf	#3785 51 Burch Street legal
<input type="checkbox"/> Reference Material	#3785_51_Burch_Street_Special_Permit.pdf	#3785 51 Burch Street Special Permit
<input type="checkbox"/> Reference Material	#3785_51_Burch_Street_Proposed_plot_plan_R2_st_Wed_Jan_24_2024_13-29-28.pdf	#3785 51_Burch_Street_Proposed_plot_plan_R2_st_Wed_Jan_24_2024_13-29-28



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **51 Burch Street, LLC** of Arlington, MA. on January 24, 2024, a petition seeking to alter their property located at **51 Burch Street - Block Plan 013.0-0009-0007.A**. Said petition would require a **Special Permit** under **Section 6.1.10(A)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on February 27, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3785**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



## SP-24-3

Special Use Permit  
Application (ZBA)

Status: Active

Submitted On: 1/24/2024





## Primary Location

51 BURCH ST  
Arlington, MA 02474

## Owner

51 Burch Street llc.  
BURCH STREET 51  
ARLINGTON, MA 02474

## Applicant

 James Rissling  
 617 588-2113 ext 700  
 jim@lrdesignsinc.com  
 64 Allston Street #3  
Cambridge,  
Massachusetts 02139

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## Special Permit Criteria

**Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.\***

The request is for a second driveway pursuant to Arlington Zoning Bylaw Section 6.1.10.A Location of Parking Spaces

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

The two narrower driveways will, as opposed to a single double wide driveway, will allow for intermittent landscape space and avoid a large swath of paving material to interrupt the road edge.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

The two narrow drives will be equivalent to an allowed single double wide driveway; allowing for enhanced landscape and shorter crossings of the driveways for pedestrians.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

The two narrow drives will be equivalent to an allowed single double wide driveway and will meet all site requirements for a wider driveway.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

Section 6.1.10.A. allows for an addition driveway, provided there is a favorable finding by the Special Permit Granting Authority.

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

The two narrower driveways provide a smaller scale to the site design and landscape features, enhancing to the residential scale of the neighborhood.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

The two narrow driveways will provide the same amount of parking as a wider driveway, meeting all the site requirements.

---

## Dimensional and Parking Information

**Present Use/Occupancy \***

Single Family Residence

**Proposed Use/Occupancy \***

Two-Family Residence

**Existing Number of Dwelling Units\***

1

**Proposed Number of Dwelling Units\***

2

**Existing Gross Floor Area (Sq. Ft.)\***

2046

**Proposed Gross Floor Area (Sq. Ft.)\***

5196

**Existing Lot Size (Sq. Ft.)\***

6093

**Proposed Lot Size (Sq. Ft.)\* ?**

6093



Minimum Lot Size required by Zoning\*

6000

Existing Frontage (ft.)\*

67.7

Proposed Frontage (ft.)\*

67.7

Minimum Frontage required by Zoning\*

60

Existing Floor Area Ratio\*

0

Proposed Floor Area Ratio\*

0

Max. Floor Area Ratio required by Zoning\*

0

Existing Lot Coverage (%)\*

18.3

Proposed Lot Coverage (%)\*

33.5

Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

0

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

3046.5

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

17

Proposed Front Yard Depth (ft.)\*

21

Minimum Front Yard Depth required by Zoning\*

20

Existing Left Side Yard Depth (ft.)\*

6.9

Proposed Left Side Yard Depth (ft.)\*

10.8

Minimum Left Side Yard Depth required by Zoning\*

10

Existing Right Side Yard Depth (ft.)\*

6.9

Proposed Right Side Yard Depth (ft.)\*

10.8

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

48.2

Proposed Rear Yard Depth (ft.)\*

24.8

Minimum Rear Yard Depth required by Zoning\*

18

Existing Height (stories)

1

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

19.8

Proposed Height (ft.)\*

33.1

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

4787

Proposed Landscaped Open Space (Sq. Ft.)\*

2834

Existing Landscaped Open Space (% of GFA)\*

233

Proposed Landscaped Open Space (% of GFA)\*

54

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

2640

Proposed Usable Open Space (Sq. Ft.)\*

1692.5

Existing Usable Open Space (% of GFA)\*

77.5

Proposed Usable Open Space (% of GFA)\*

32.5

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

2

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by  
Zoning\*

2

Existing Parking area setbacks

0

Proposed Parking area setbacks \*

20

Minimum Parking Area Setbacks required by  
Zoning\*

20

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by  
Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

6

Proposed Slope of proposed roof(s) (in. per ft.)\*

2

Minimum Slope of Proposed Roof(s) required by Zoning\*

2

Existing type of construction\*

V-5

Proposed type of construction\*

V-5

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## Open Space Information

Existing Total Lot Area\*

6093

Proposed Total Lot Area\*

6093

Existing Open Space, Usable\*

2640

Proposed Open Space, Usable\*

1692.5

Existing Open Space, Landscaped\*

4787

Proposed Open Space, Landscaped\*

2834

---

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

960

Basement or Cellar, Proposed Gross Floor Area

0

1st Floor, Existing Gross Floor Area

1086

New Field

—

1st Floor, Proposed Gross Floor Area

2040

2nd Floor, Existing Gross Floor Area

0

2nd Floor, Proposed Gross Floor Area

2252

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

0

Attic, Proposed Gross Floor Area

904

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

0

All weather habitable porches and balconies,  
Existing Gross Floor Area

0

All weather habitable porches and balconies,  
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

2046



Total Proposed Gross Floor Area

5196







## Town of Arlington, Massachusetts

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**#3786 19 Chatham Street**

**ATTACHMENTS:**

Type	File Name	Description
▢ Reference Material	#3784_Egerton_Road_Legal_ad.pdf	#3784 Egerton Road Legal ad
▢ Reference Material	#3784_71_Egerton_Road_Special_Permit.pdf	#3784 71 Egerton Road Special Permit
▢ Reference Material	#3784_71-73_Egerton_rd_Arlington_-_Plans_Thu_Jan_18_2024_16-04-09.pdf	#3784 71-73_Egerton_rd_Arlington_-_Plans_Thu_Jan_18_2024_16-04-09



Town of Arlington  
Zoning Board of Appeals  
51 Grove Street  
Arlington, Massachusetts 02476  
781-316-3396  
[www.arlingtonma.gov](http://www.arlingtonma.gov)

## LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **Winwin Properties, LLC** of Arlington, MA. on January 24, 2024, a petition seeking to alter their property located at **71 Egerton Road- Block Plan 005.0-0003-0013.0**. Said petition would require a **Special Permit** under **Section 5.4.2(A)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on February 27, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

**For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

**DOCKET NO 3784**

Zoning Board of Appeals  
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**





## SP-24-2

Special Use Permit  
Application (ZBA)

Status: Active

Submitted On: 1/23/2024

## Primary Location

71 EGERTON RD  
Arlington, MA 02474

## Owner

Winwin Properties, LLC.  
Hancock St. 165 Braintree,  
MA 02184

## Applicant

 Jeremy Gavin  
 508-246-0460  
jeremy.gavin@homevestors.com  
 165 Hancock St.  
Braintree, MA 02184

## Special Permit Criteria

**Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.\***

We are requesting a special permit base on the zoning bylaw 3.3.4 section A. "Dimensional standards more restrictive than those set forth in Section 5 of this Bylaw;" We have a total GSF of 1218sqft on the existing finished first floor and 1463sqft on the existing finished 2nd floor. The existing building and lot is currently non conforming due to lot size. We are proposing to add 1218 gross sqft additional space in the existing unfinished basement to add to 71 Egerton. Of which 840sqft is finished space and 378ssqft is common storage and utility rooms. We are also propsing to add 2 dormers to the existing unfinished 3rd floor walk up attic. 1 small dormer forward on the property to give increased headroom on the stairway form the 2nd to 3rd floors and the other larger dormer on the rearward portion to provide headroom for a master bedroom and full bathroom. The total GSF of this space is 762sqft with the FFloor area with 7ft or taller headroom is 399sqft and this would be added to 73 Egerton Unit. Total proposed GSF of the building will be 4808sqft requiring 1442 sqft of open space. The rear yard is the only space large enough to fit the definition of open space. The property curenly has approx 840sqft (28' x 30') of open space in this area. The garage also in the rear of the lot and is approx 23' x 20'.

**Explain why the requested use is essential or desirable to the public convenience or welfare.\***

There is an existing unfinished full basement and existing unfinished walk up attice that we propose to finish into living space. There is a shortage of housing in the greater boston area and by utilizing these spaces we are creating 4 more bedrooms that families can occupy.

**Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.\***

There are currently 2 existing units in the building and we are adding the proposed Sqftage to the existing 2 units so we are not adding units. There is an existing 2 car garage and parking for 4 additional cars in the driveway so the increase in size should not increase the need for street parking.

**Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.\***

The additional space looking to be utilized is not unusual in the neighborhood. The town water and sewage should be more than addiquate to handle 4 additional bedrooms and no additional kitchens.

**Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.\***

We are not adding any additional structures beyond the existing foundation of the property. By keeping the existing garage that adds 2 additonal off street parking that would be lost with the removal of it. We are not adding additonal units to the property. We are increasing the living square footage of the existing units by utilizing existing unfinished space.

**Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.\***

We are not changing the architecture of the property. The property currently has similar architecture to the surround homes and will remain that way. We are looking to utilize existing gross square footage in the full basement and existing 3rd floor walk up attic.

**Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.\***

The neighborhood is made up of many multi unit buildings and this property fits into that use and look of the neighborhood.

## Dimensional and Parking Information

### Present Use/Occupancy \*

Residential 2 units each with 2 bedrooms for a total of 4 bedrooms

### Proposed Use/Occupancy \*

Residential 2 units each with 4 bedrooms for a total of 8 bedrooms

### Existing Number of Dwelling Units\*

2

### Proposed Number of Dwelling Units\*

2

### Existing Gross Floor Area (Sq. Ft.)\*

2940

### Proposed Gross Floor Area (Sq. Ft.)\*

4808

### Existing Lot Size (Sq. Ft.)\*

5160

### Proposed Lot Size (Sq. Ft.)\*

5160

### Minimum Lot Size required by Zoning\*

6001

### Existing Frontage (ft.)\*

50

### Proposed Frontage (ft.)\*

50

### Minimum Frontage required by Zoning\*

60

### Existing Floor Area Ratio\*

0.94

### Proposed Floor Area Ratio\*

0.94

### Max. Floor Area Ratio required by Zoning\*

0

### Existing Lot Coverage (%)\*

0.24

### Proposed Lot Coverage (%)\*

0.24

### Max. Lot Coverage required by Zoning\*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)\*

2580

Proposed Lot Area per Dwelling Unit (Sq. Ft.)\*

2580

Minimum Lot Area per Dwelling Unit required by Zoning\*

0

Existing Front Yard Depth (ft.)\*

10.25

Proposed Front Yard Depth (ft.)\*

10.25

Minimum Front Yard Depth required by Zoning\*

20

Existing Left Side Yard Depth (ft.)\*

17.67

Proposed Left Side Yard Depth (ft.)\*

17.67

Minimum Left Side Yard Depth required by Zoning\*

10

Existing Right Side Yard Depth (ft.)\*

5.67

Proposed Right Side Yard Depth (ft.)\*

5.67

Minimum Right Side Yard Depth required by Zoning\*

10

Existing Rear Yard Depth (ft.)\*

30

Proposed Rear Yard Depth (ft.)\*

30

Minimum Rear Yard Depth required by Zoning\*

20

Existing Height (stories)

2.5

Proposed Height (stories)\*

2.5

Maximum Height (stories) required by Zoning\*

2.5

Existing Height (ft.)\*

35

Proposed Height (ft.)\*

35

Maximum Height (ft.) required by Zoning\*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)\*

514

Proposed Landscaped Open Space (Sq. Ft.)\*

514

Existing Landscaped Open Space (% of GFA)\*

11

Proposed Landscaped Open Space (% of GFA)\*

11

Minimum Landscaped Open Space (% of GFA)  
required by Zoning\*

10

Existing Usable Open Space (Sq. Ft.)\*

840

Proposed Usable Open Space (Sq. Ft.)\*

840

Existing Usable Open Space (% of GFA)\*

32

Proposed Usable Open Space (% of GFA)\*

18

Minimum Usable Open Space required by Zoning\*

30

Existing Number of Parking Spaces\*

4

Proposed Number of Parking Spaces\*

4

Minimum Number of Parking Spaces required by  
Zoning\*

2

Existing Parking area setbacks

1

Proposed Parking area setbacks \*

1

Minimum Parking Area Setbacks required by Zoning\*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces\*

0

Minimum Number of Loading Spaces required by Zoning\*

0

Existing Slope of proposed roof(s) (in. per ft.)\*

6

Proposed Slope of proposed roof(s) (in. per ft.)\*

6

Minimum Slope of Proposed Roof(s) required by Zoning\*

3

Existing type of construction\*

Wood frame

Proposed type of construction\*

Wood Frame

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## Open Space Information

Existing Total Lot Area\*

5160

Proposed Total Lot Area\*

5160

Existing Open Space, Usable\*

840

Proposed Open Space, Usable\*

840

Existing Open Space, Landscaped\*

514

Proposed Open Space, Landscaped\*

514

## Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

460

Accessory Building, Proposed Gross Floor Area

460

Basement or Cellar, Existing Gross Floor Area ?

1218

Basement or Cellar, Proposed Gross Floor Area

1218

1st Floor, Existing Gross Floor Area

1218

New Field

—

1st Floor, Proposed Gross Floor Area

1365

2nd Floor, Existing Gross Floor Area

1463

2nd Floor, Proposed Gross Floor Area

1463

3rd Floor, Existing Gross Floor Area

259

3rd Floor, Proposed Gross Floor Area

399

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,  
Existing Gross Floor Area

—

All weather habitable porches and balconies,  
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

4618



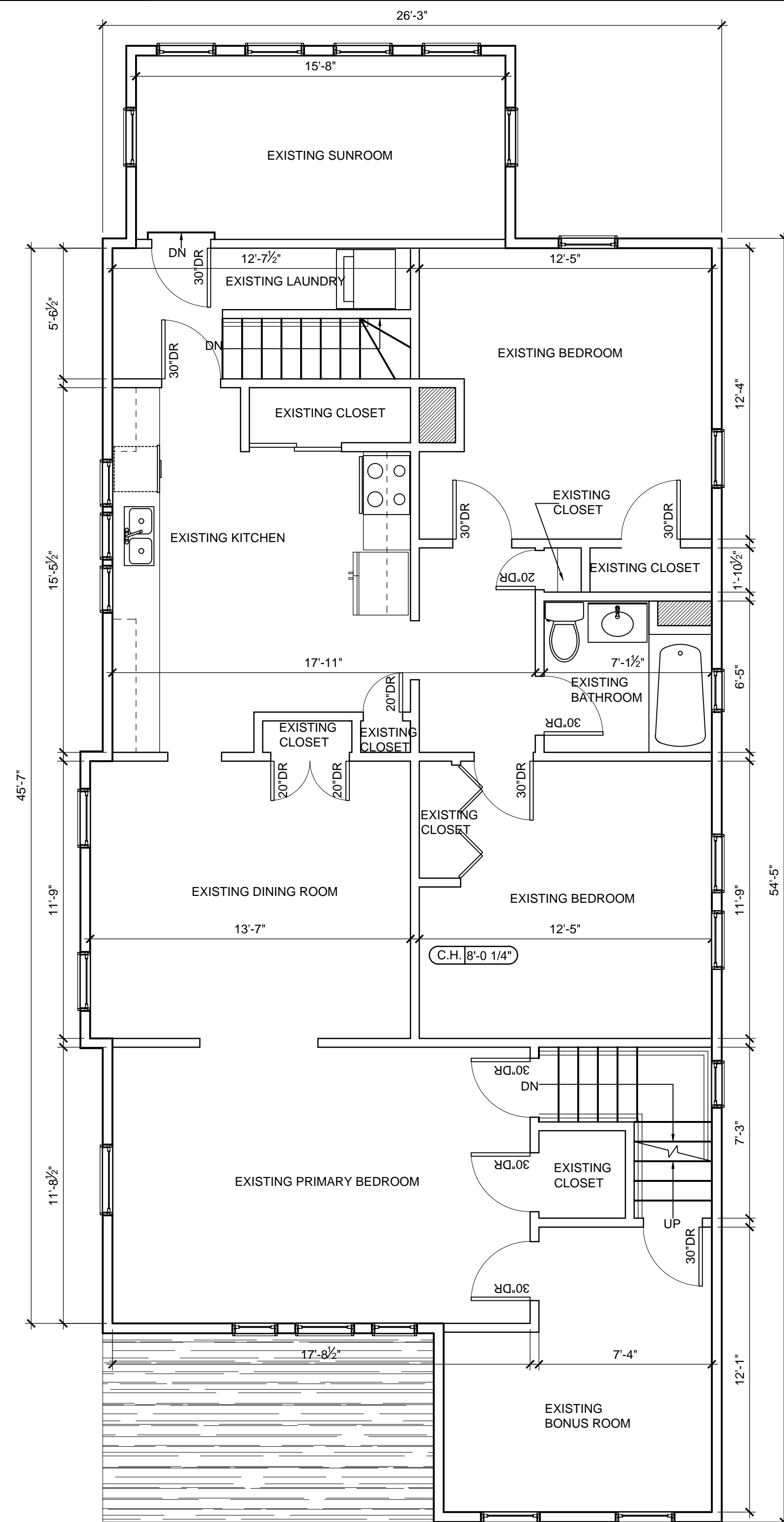
Total Proposed Gross Floor Area

4905

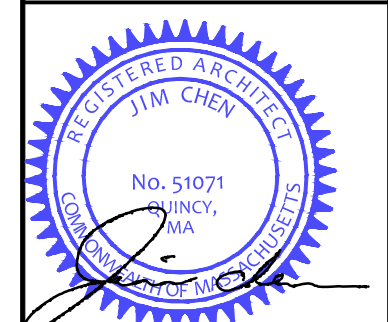
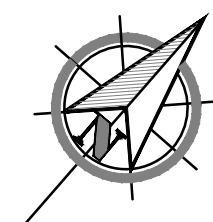
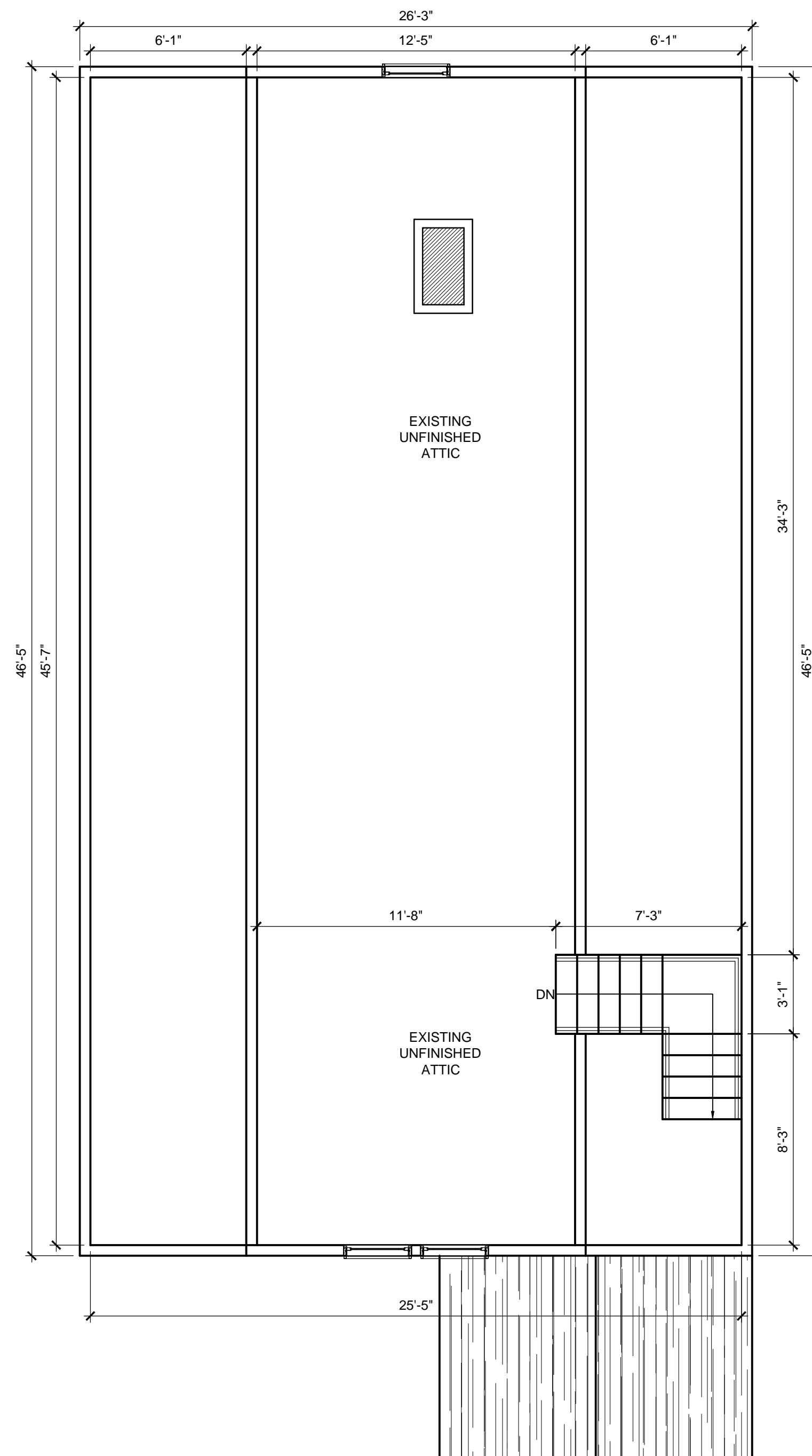








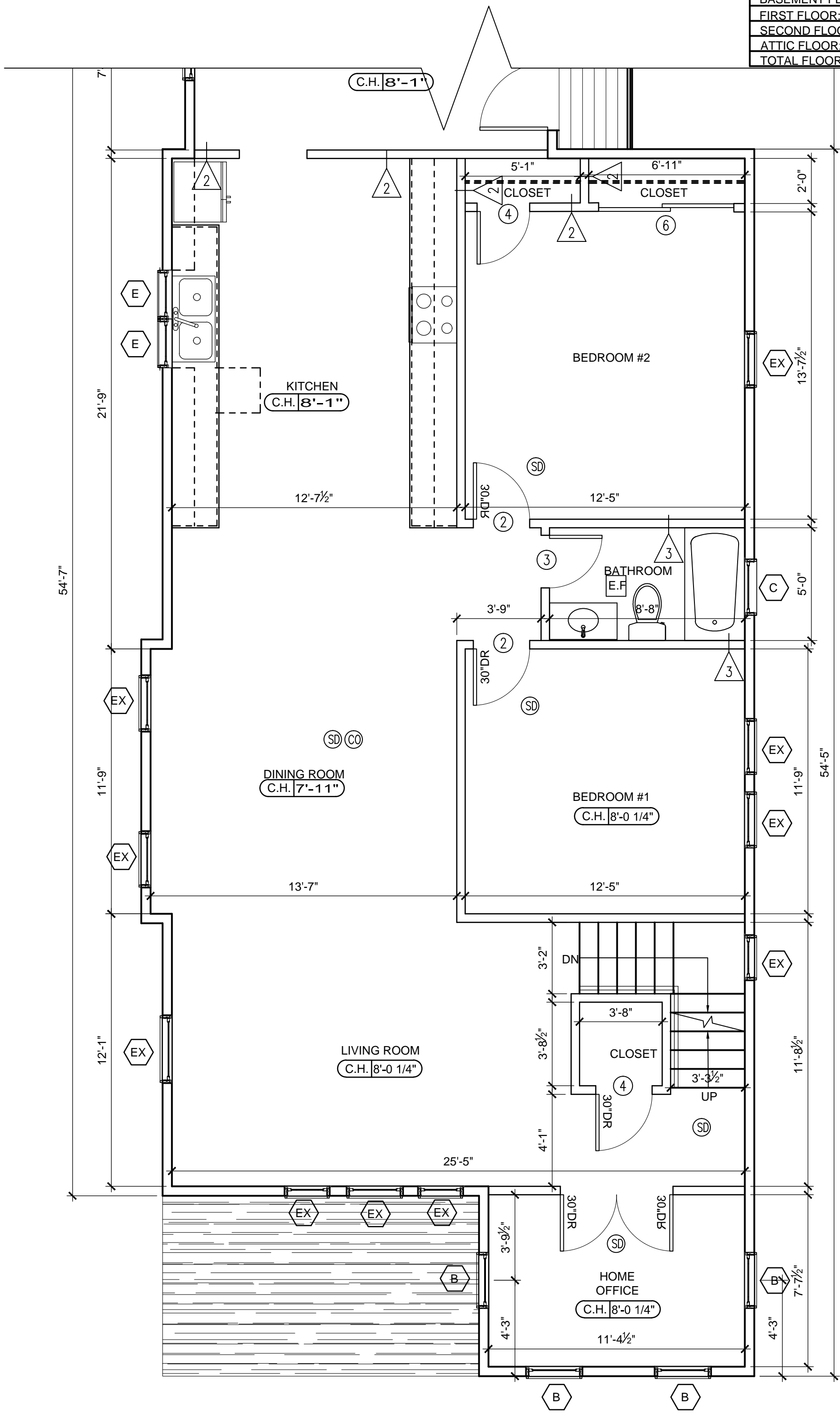
BUILDING AREA:	
BASEMENT FLOOR:	+/- 1,218 SF.
FIRST FLOOR:	+/- 1,218 SF.
SECOND FLOOR:	+/- 1,463 SF.
ATTIC FLOOR:	+/- 615 SF.
TOTAL FLOOR:	+/- 4,514 SF.

[illegible]

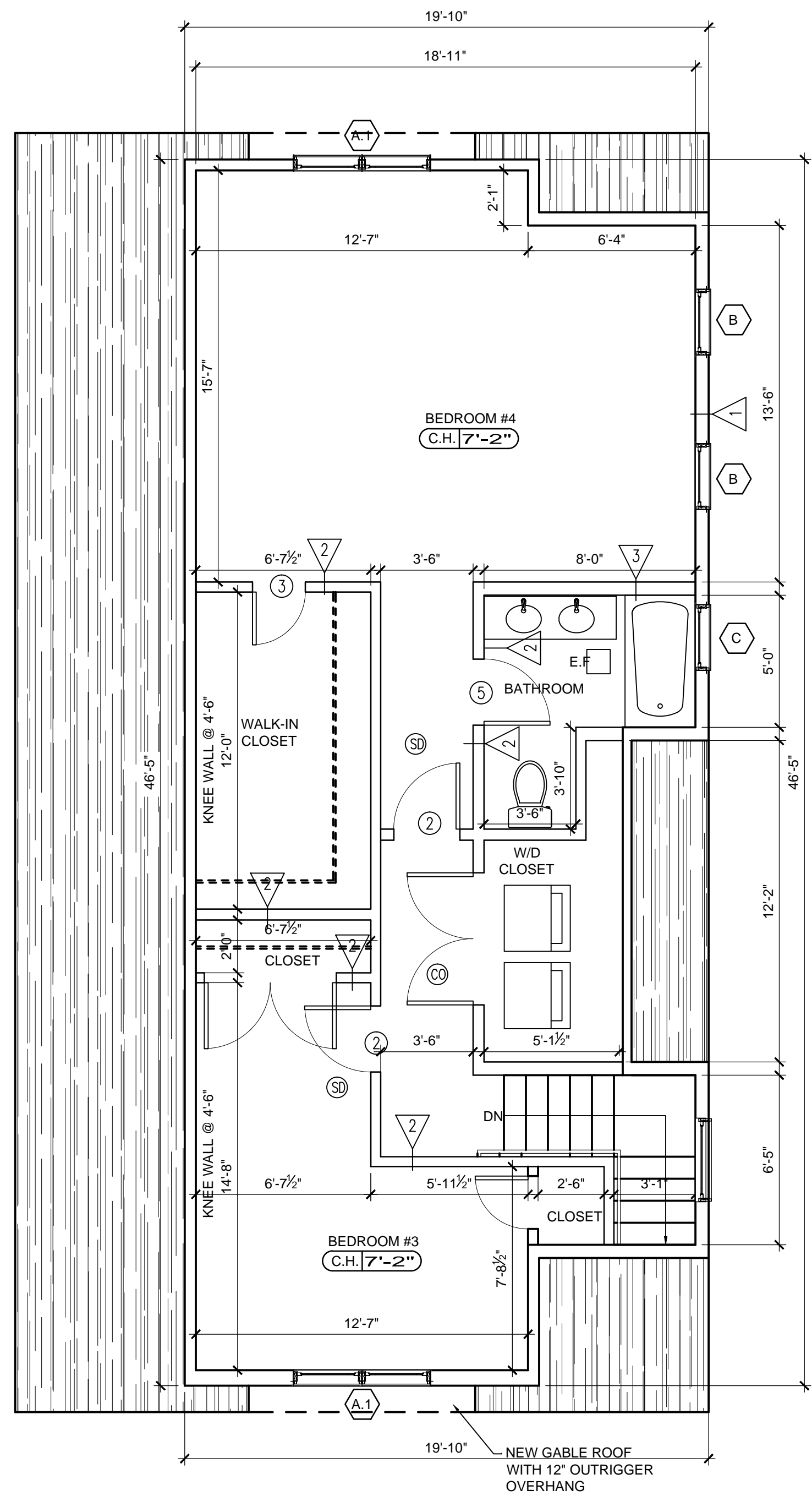




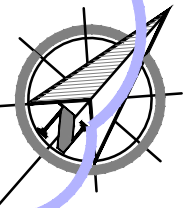
BUILDING AREA:	
BASEMENT FLOOR:	+/- 1,218 SF.
FIRST FLOOR:	+/- 1,365 SF.
SECOND FLOOR:	+/- 1,463 SF.
ATTIC FLOOR:	+/- 762 SF.
TOTAL FLOOR:	+/- 4,808 SF.



PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"



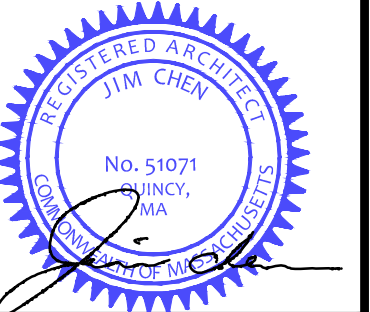
PROPOSED ATTIC FLOOR PLAN  
SCALE: 1/4"=1'-0"



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ARCHITECT  
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ADMIN@JCBTARCHITECT.COM  
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REVISIONS

NO.	BY	DESCRIPTION	DATE
1	TN	FLOOR PLANS	12/12/2023

PROJECT

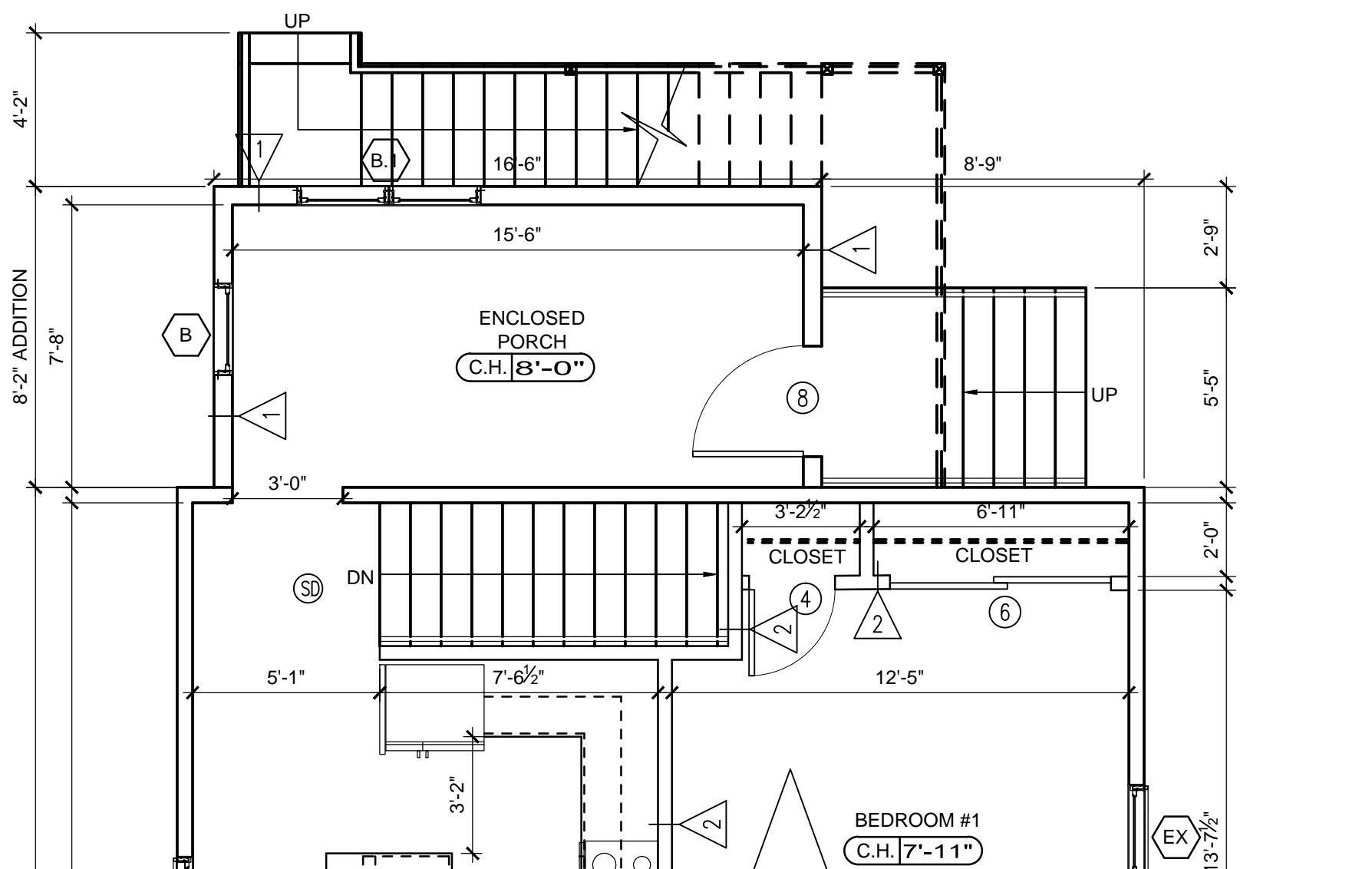
EXISTING  
TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

SHEET TITLE

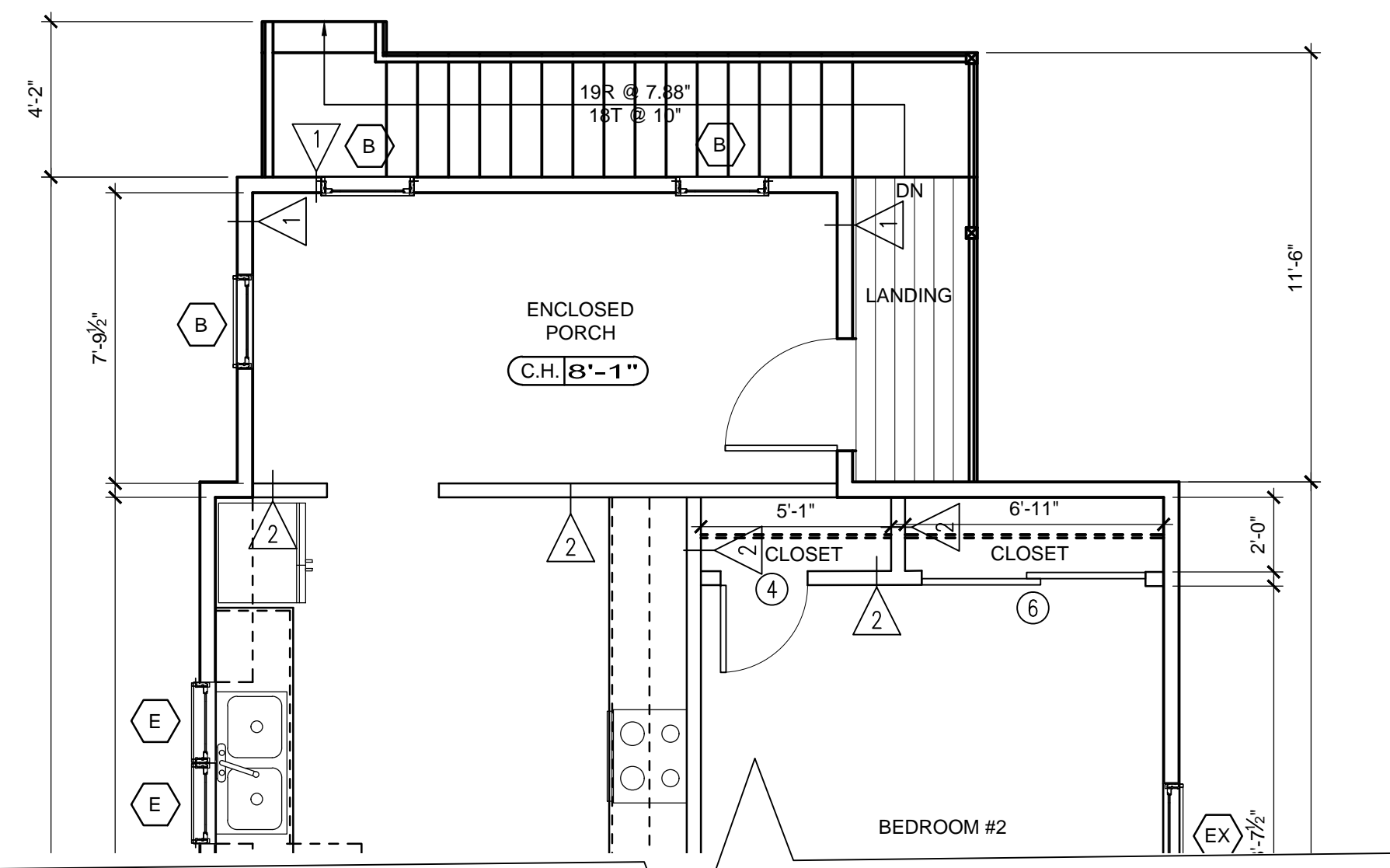
PROPOSED  
FLOOR PLANS

DRAWN:	DRAWING NO:
SCALE: NOTED	A1.4
DATE:	
CHECKED:	
SHEET OF	



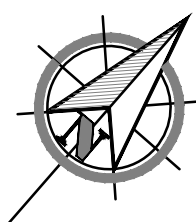
PROPOSED PARTIAL 1ST FLOOR - DECK STAIR PLAN  
SCALE: 1/4"=1'-0"

1  
A1.5



PROPOSED PARTIAL 2ND FLOOR - DECK STAIR PLAN  
SCALE: 1/4"=1'-0"

2  
A1.5



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71-73 EGERTON ROAD  
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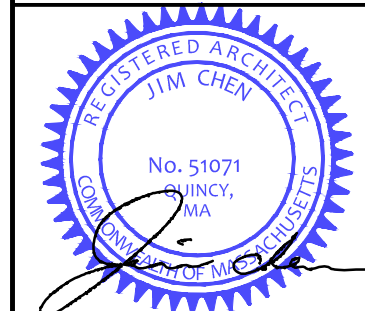
SHEET TITLE

PROPOSED  
FLOOR PLANS

DRAWN:	DRAWING NO:
SCALE: NOTED	A1.5
DATE:	
CHECKED:	
SHEET OF	



## REGISTRATION



## REVISIONS

[illegible]

PROJECT

EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

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**SHEET TITLE**

EXISTING  
EXTERIOR  
ELEVATIONS

DRAWN:	DRAWING NO:
SCALE: NOTED	
DATE:	
CHECKED:	
SHEET OF	

A2.1

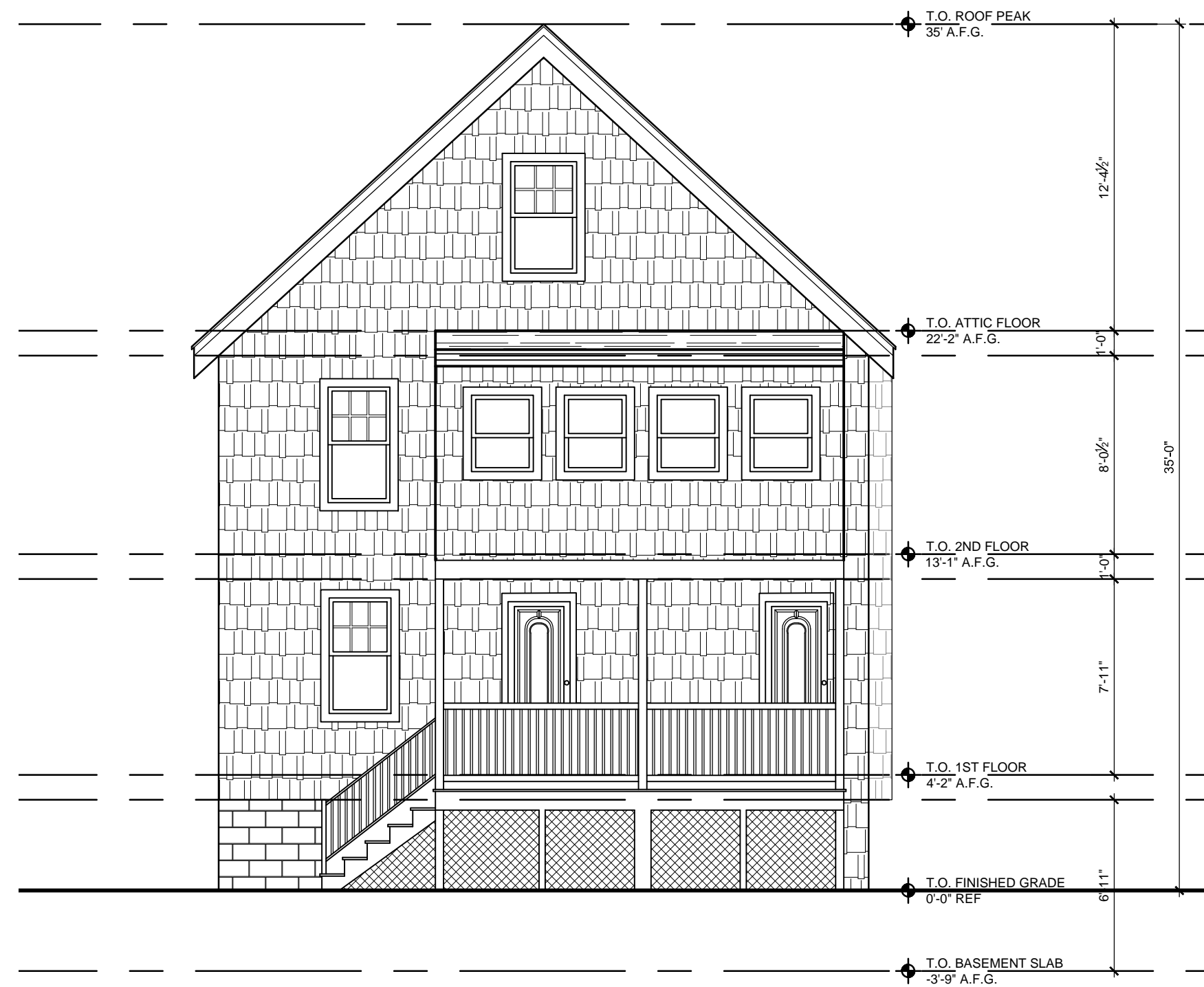


SCALE: 3/16"=1'-0"



SCALE: 3/16"=1'-0"





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## REVISIONS

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PROJECT

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TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

**SHEET TITLE**

EXISTING  
EXTERIOR  
ELEVATIONS

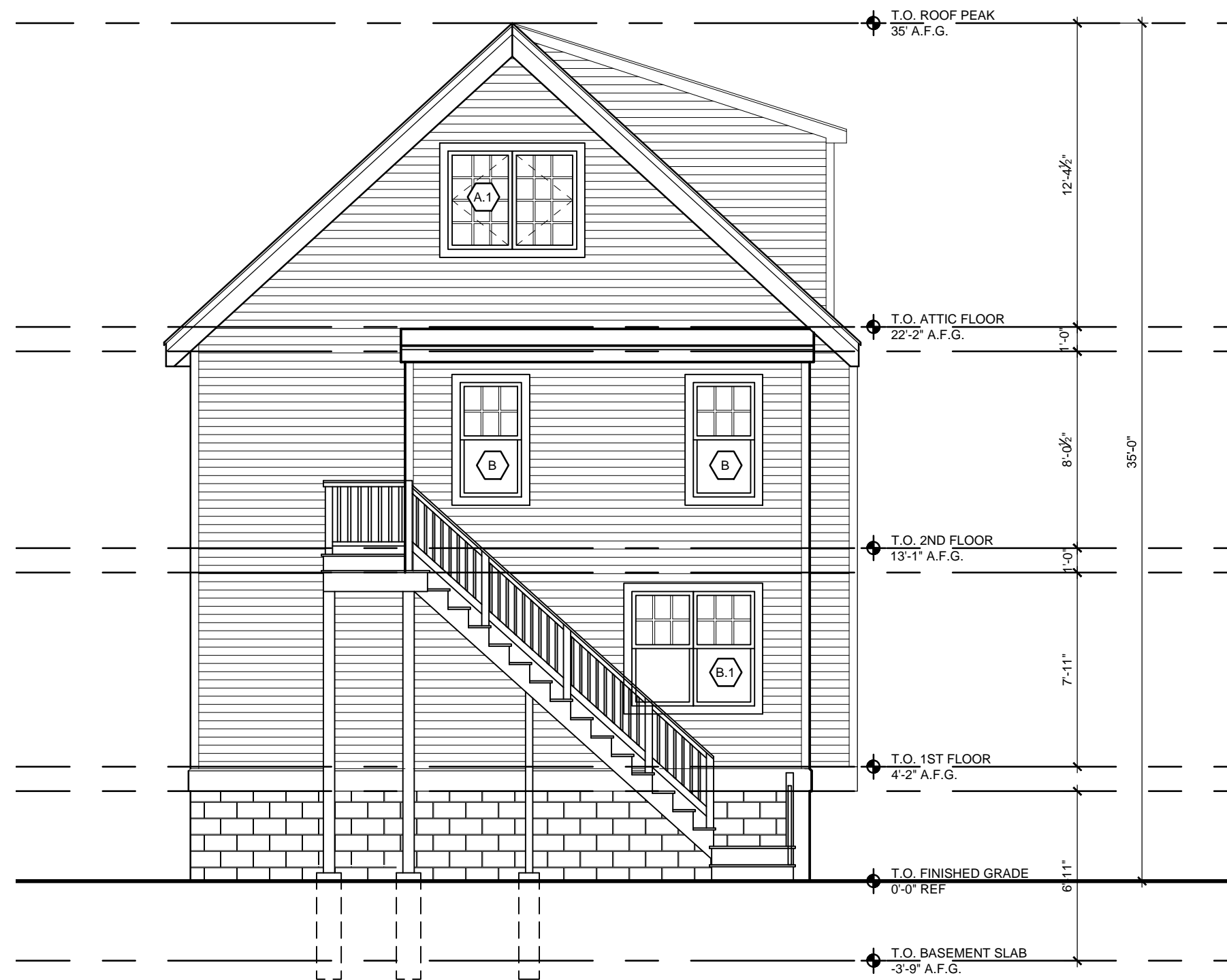
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SCALE: NOTED	
DATE:	
CHECKED:	
SHEET OF	

A2.2

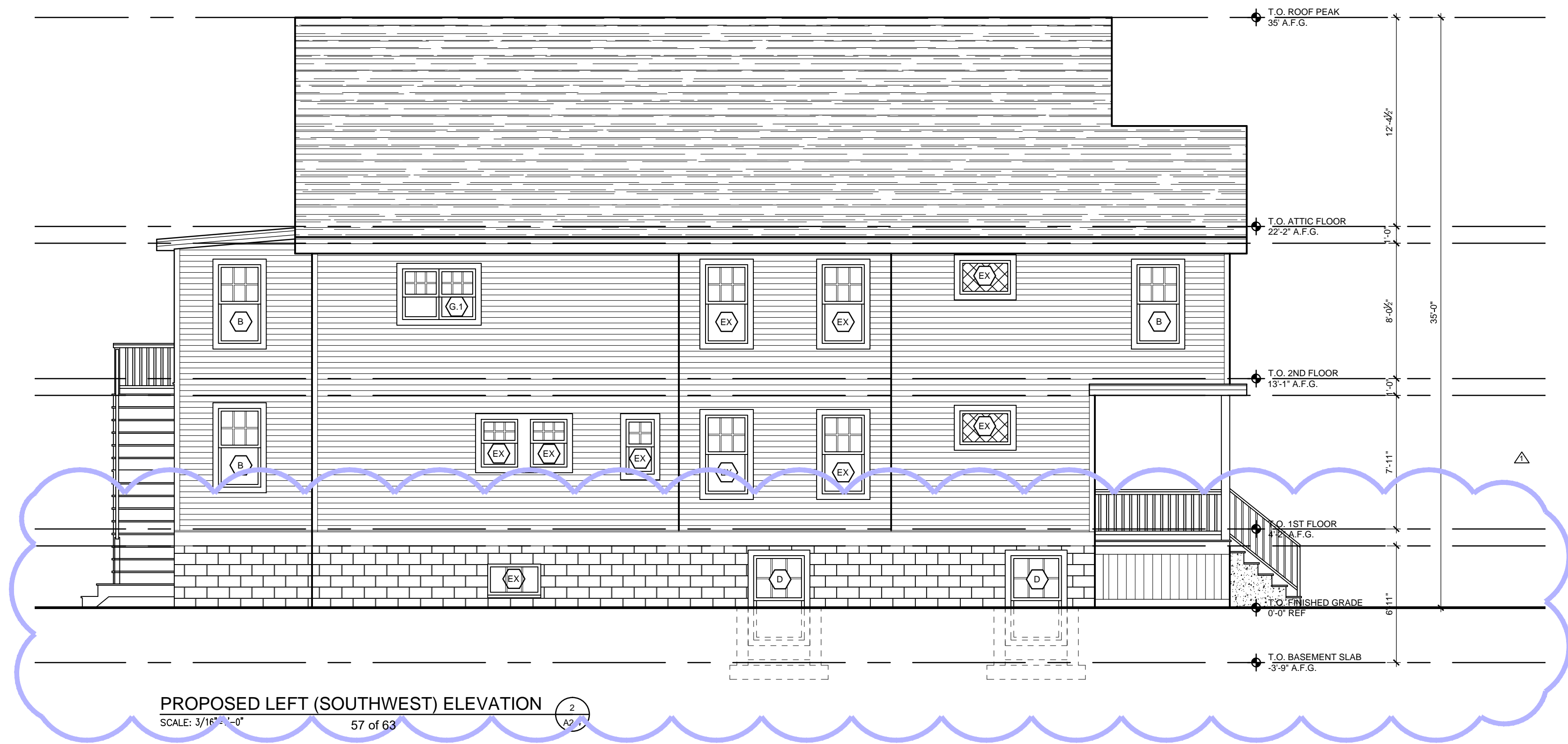




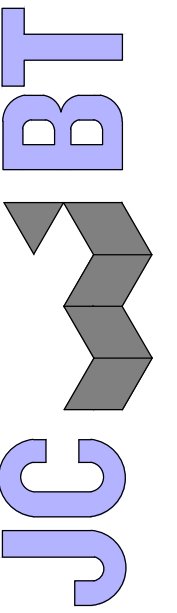




PROPOSED REAR (NORTHWEST) ELEVATION 1  
SCALE: 3/16"=1'-0" A2.4



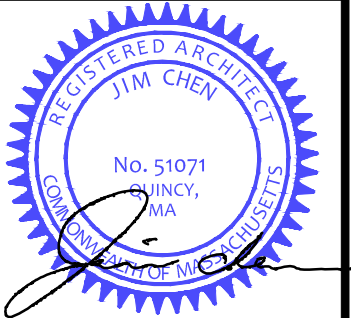
PROPOSED LEFT (SOUTHWEST) ELEVATION 2  
SCALE: 3/16"=1'-0" 57 of 63 A2.4



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1	TN	FLOOR PLANS	12/12/2023

PROJECT

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71-73 EGERTON ROAD  
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SHEET TITLE

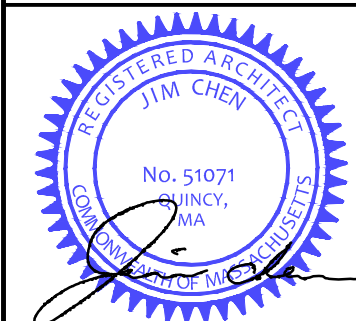
PROPOSED  
EXTERIOR  
ELEVATIONS

DRAWN:	DRAWING NO:
SCALE: NOTED	A2.4
DATE:	
CHECKED:	
SHEET OF	



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[illegible]

## PROJECT

EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
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**SHEET TITLE**

## PROPOSED WALL SECTIONS

DRAWN:	DRAWING NO:
SCALE: NOTED	A3
DATE:	
CHECKED:	
SHEET OF	



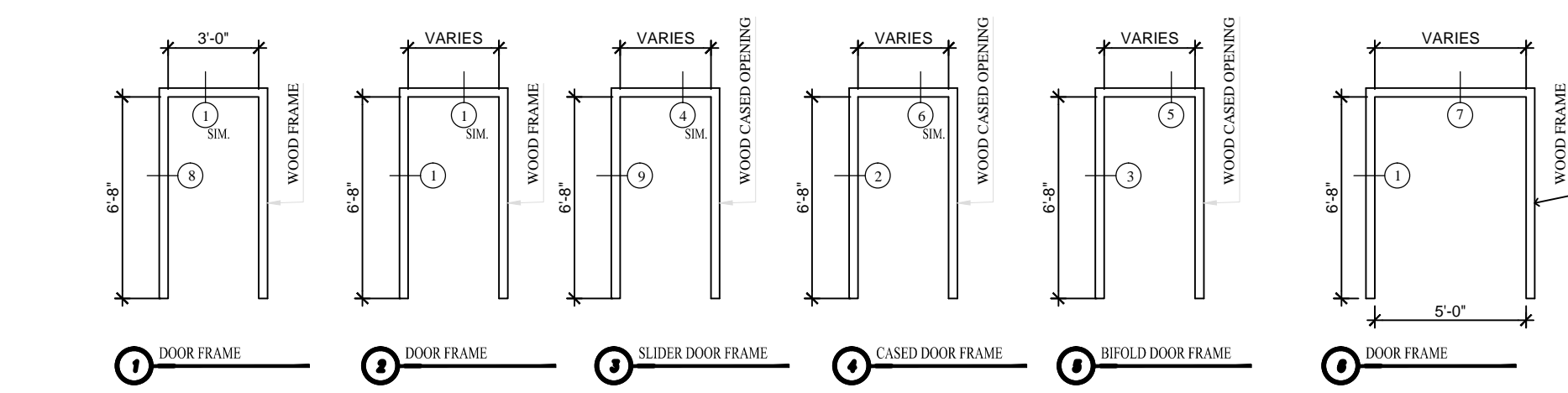


DOOR SCHEDULE																	
		DOOR							FRAMES						REMARKS		
		NO.	SIZE			TYPE	MAT'L.		FIN.	LABEL	TYPE	MAT'L.	DETAILS			HARDW. SET	
			width	height	thick								jamb	head			sill
EXTERIOR ENTRY DOORS	1	3'-0"	6'-8"	1-3/4"	A	INSULATED THERMOGLASS	MANUF.		1	WOOD	8	1	---	---			
INTERIOR BEDROOM	2	2'-8"	6'-8"	1-3/4"	B	WOOD	PTD.		3	WOOD	9	4	---	---			
INTERIOR BATHROOM	3	2'-6"	6'-8"	1-3/4"	B	WOOD	PTD.		3	WOOD	9	4	---	---			
UTILITY CLOSET / CLOSET	4	2'-10"	6'-8"	1-3/4"	B	WOOD	PTD.		2	WOOD	1	1	---	---			
WALK-IN CLOSET	5	2'-0"	6'-8"	1-3/4"	B	WOOD	PTD.		2	WOOD	1	1	---	---			
CLOSET	6	(2) 3'-0"	6'-8"	1-3/4"	D	WOOD	PTD.		2	WOOD	1	1	---	---			
STORAGE ROOM	7	2'-10"	6'-8"	1-3/4"	B	WOOD	PTD.		2	WOOD	1	1	---	---			
EXTERIOR DOORS	8	3'-0"	6'-8"	1-3/4"	A	INSULATED THERMOGLASS	MANUF.		1	WOOD	8	1	---	---			
UNIT DOOR	9	3'-0"	6'-8"	1-3/4"	B	WOOD	PTD.		2	WOOD	1	1	---	---	45-MIN FIRE RATED DOOR		
DOOR NOTES:																	
1. DOOR SIZE DIMENSIONS GIVEN REFER TO NOMINAL LEAF DIMENSIONS. COORDINATE ROUGH OPENING WITH MANUFACTURERS DETAILS.																	
2. DETAILS REFERENCED IN SCHEDULE ADDRESS TYPICAL INSTALLATION S. RERFER TO ELEVATIONS AND DETAIL SECTIONS FOR TRIM CONDITIONS AND ENTRANCES. COORDINATE EXTENSION JAMB DIMENSIONS, WITH WALL TYPES REFERENCED IN PLAN.																	
3. BIFOLD DOOR ARE TYPICAL 6'-8" HEIGHT.																	
4. CONTRACTOR IS SOLELY RESPONSIBLE FOR FINAL DOOR COUNT AND RIGHT/LEFT SWING COORDINATION.																	
5. ALL DOOR HARDWARE TO COMPLY WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD REQUIREMENTS.																	
6. ALL INTERIOR & EXTERIOR DOORS TO HAVE FULL DOOR CASING																	
7. ALL MASONITE DOORS ARE TO BE SMOOTH SKIN, SOLID CORE TYPE																	

1

DOOR SCHEDULE

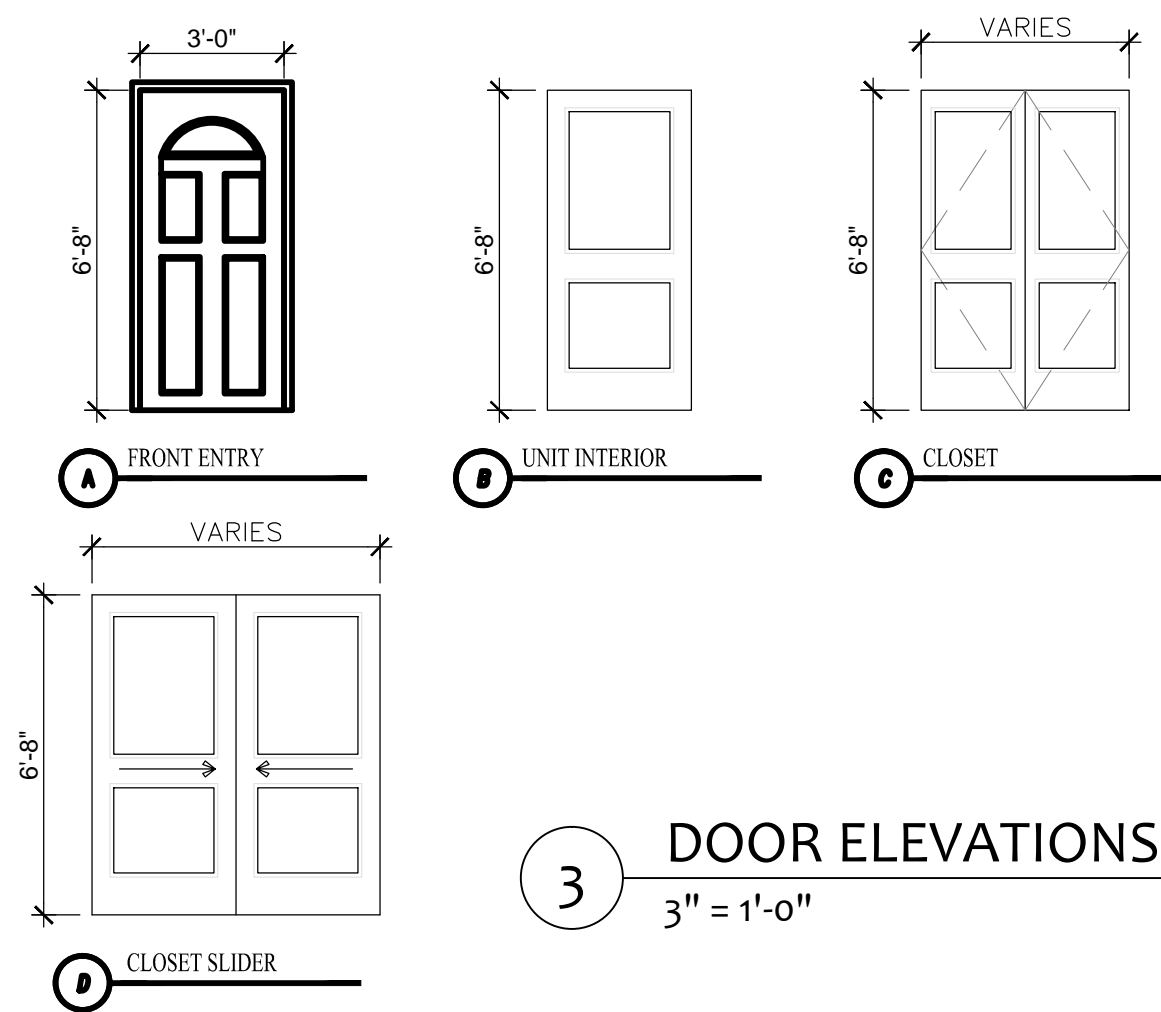
N.T.S.



2

DOOR FRAME SCHEDULE

1/4" = 1'-0"



3

DOOR ELEVATIONS

3" = 1'-0"

FINISH SCHEDULE														
	FLOOR				BASE		CEILING	WALLS	TRIM			REMARKS		
	BASEMENT	STORAGE ROOM	FULL BATHROOM	Mechanical Room	Bedrooms	First Floor	Bedrooms	Full Bathroom	Kitchen	Breakfast Area	Second Floor	Bedrooms	Full Bathroom	Living Area
DOOR CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE	WOOD CASE
BASEMENT														
STORAGE ROOM														
FULL BATHROOM														
Mechanical Room														
Bedrooms														
FIRST FLOOR														
Bedrooms														
FULL BATHROOM														
Kitchen														
Breakfast Area														
SECOND FLOOR														
Bedrooms														
FULL BATHROOM														
Kitchen														
Breakfast Area														
ATTC FLOOR														
Bedrooms														
FULL BATHROOM														
Living Area														
GENERAL NOTES: 1. ANY UNFINISHED REMAINING SPACE SHALL REMAIN THE RESPONSIBILITY OF THE OWNER. 2. ANY UNFINISHED REMAINING SPACE SHALL REMAIN THE RESPONSIBILITY OF THE OWNER. 3. COMPLY WITH ALL APPLICABLE CODES REGARDING CONSTRUCTION FOR WALL AND CEILING FIRE RATING.														

4

FINISH SCHEDULE

N.T.S.

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REVISIONS			
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PROJECT

EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

PROJECT NO. 23102

SHEET TITLE

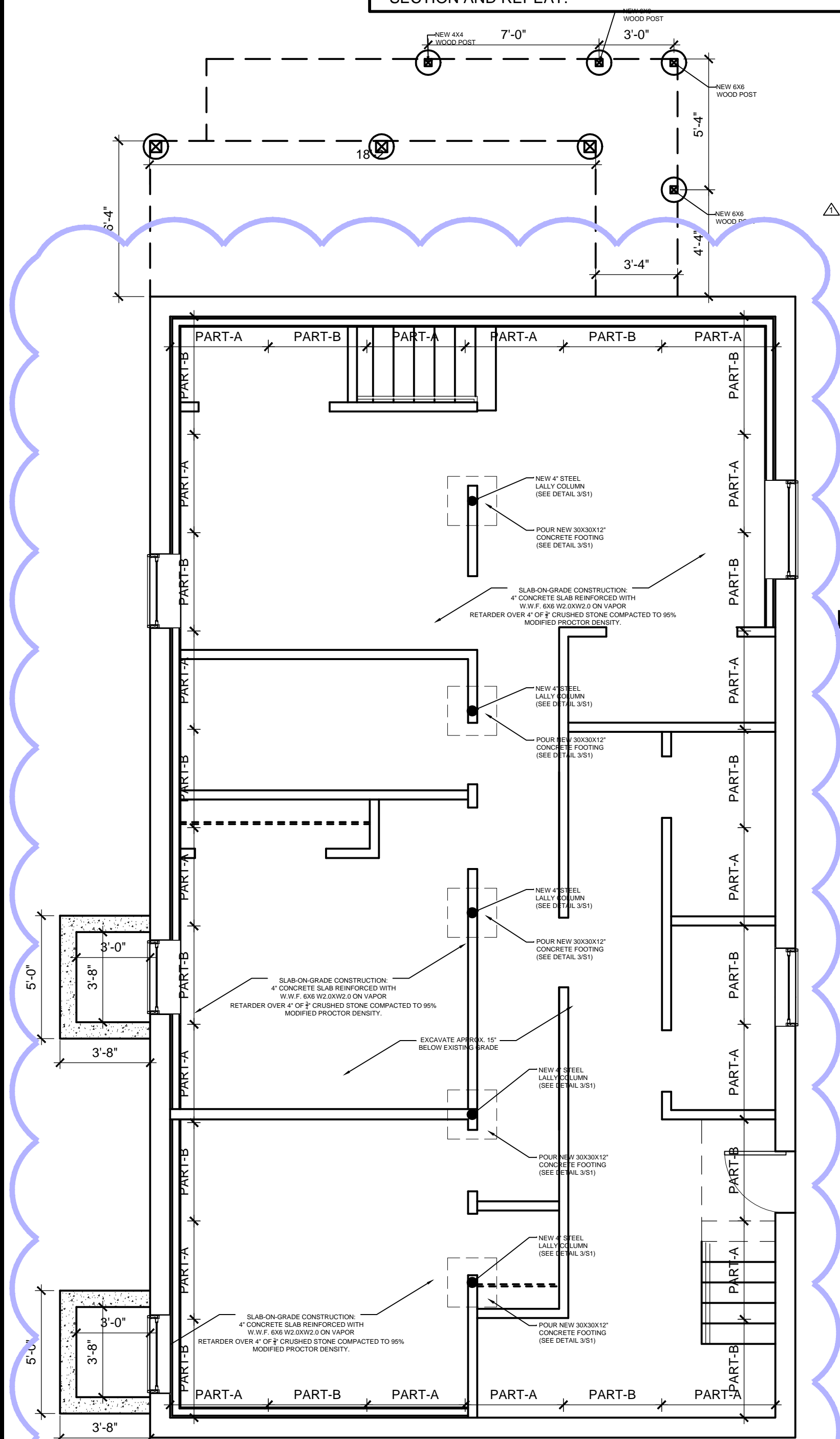
WALL TYPES  
WINDOWS AND  
DOORS SCHEDULES

DRAWN:	DRAWING NO:  <
--------	--

GENERAL NOTES:

EXCAVATE AND SHORE ALL PART - A AS SHOWN ON DRAWING SIMULTANEOUSLY, NO PART/SECTION SHALL BE EXCAVATE MORE THAN 4'-0" AT A TIME. ONCE PART-A IS COMPLETED, AND NEW FOUNDATION AND FOOTING POURED; PROCEED TO PART-B SECTION AND REPEAT.

SITE SAFETY AND SHORING METHODS ARE THE RESPONSIBILITIES OF THE CONTRACTOR. DESIGN PROFESSIONAL ONLY MAKES RECOMMENDATION ON THE METHOD OF SHORING.



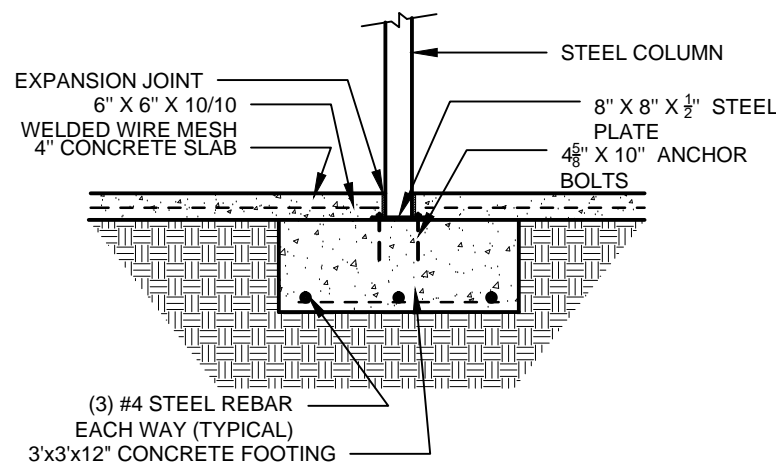
PROPOSED EXCAVATION PLAN

SCALE: 1/4"=1'-0"

1

S-1

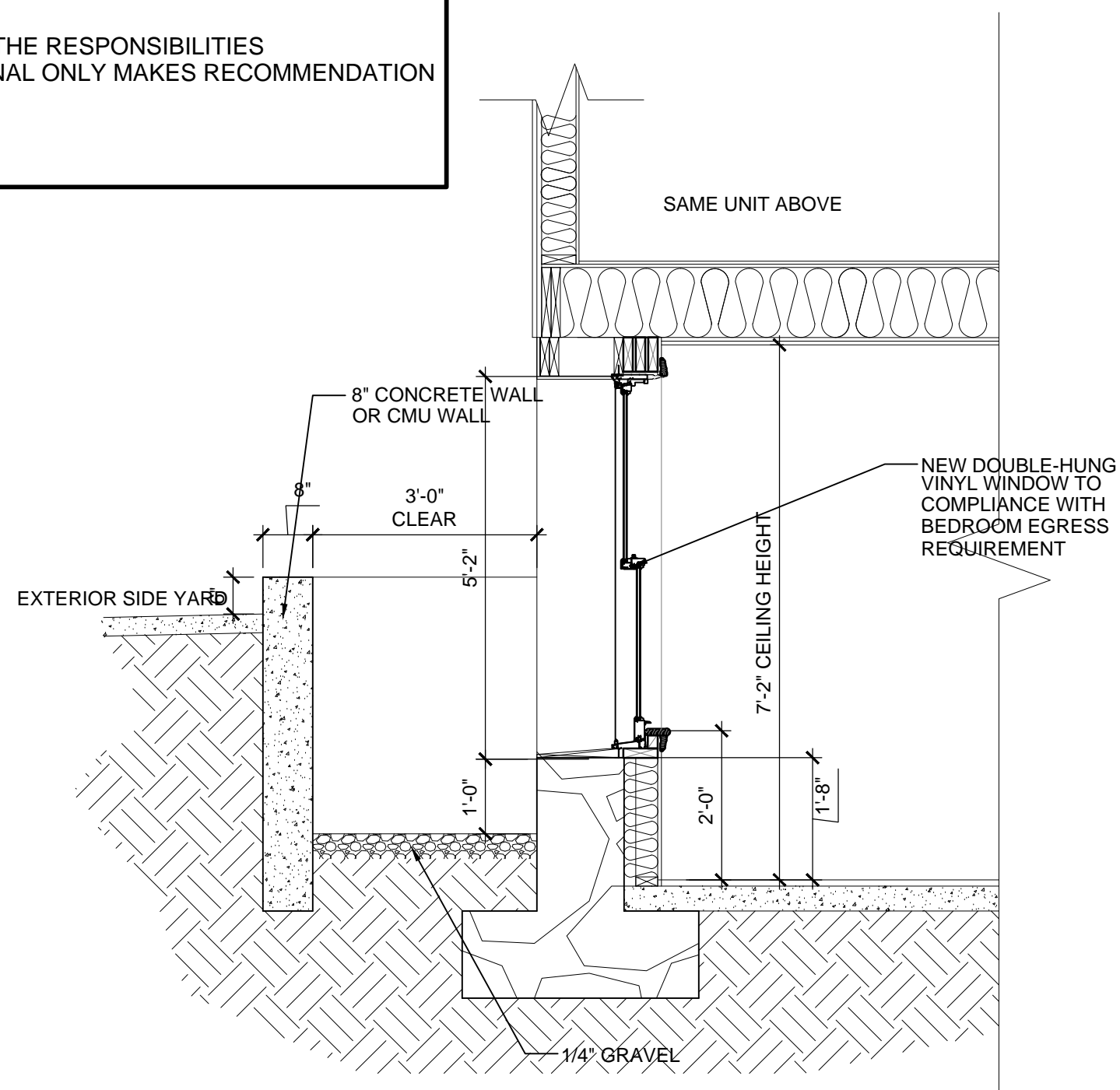
61 of 63



PROPOSED COLUMN/FOOTING DTL

SCALE: 1/2"=1'-0"

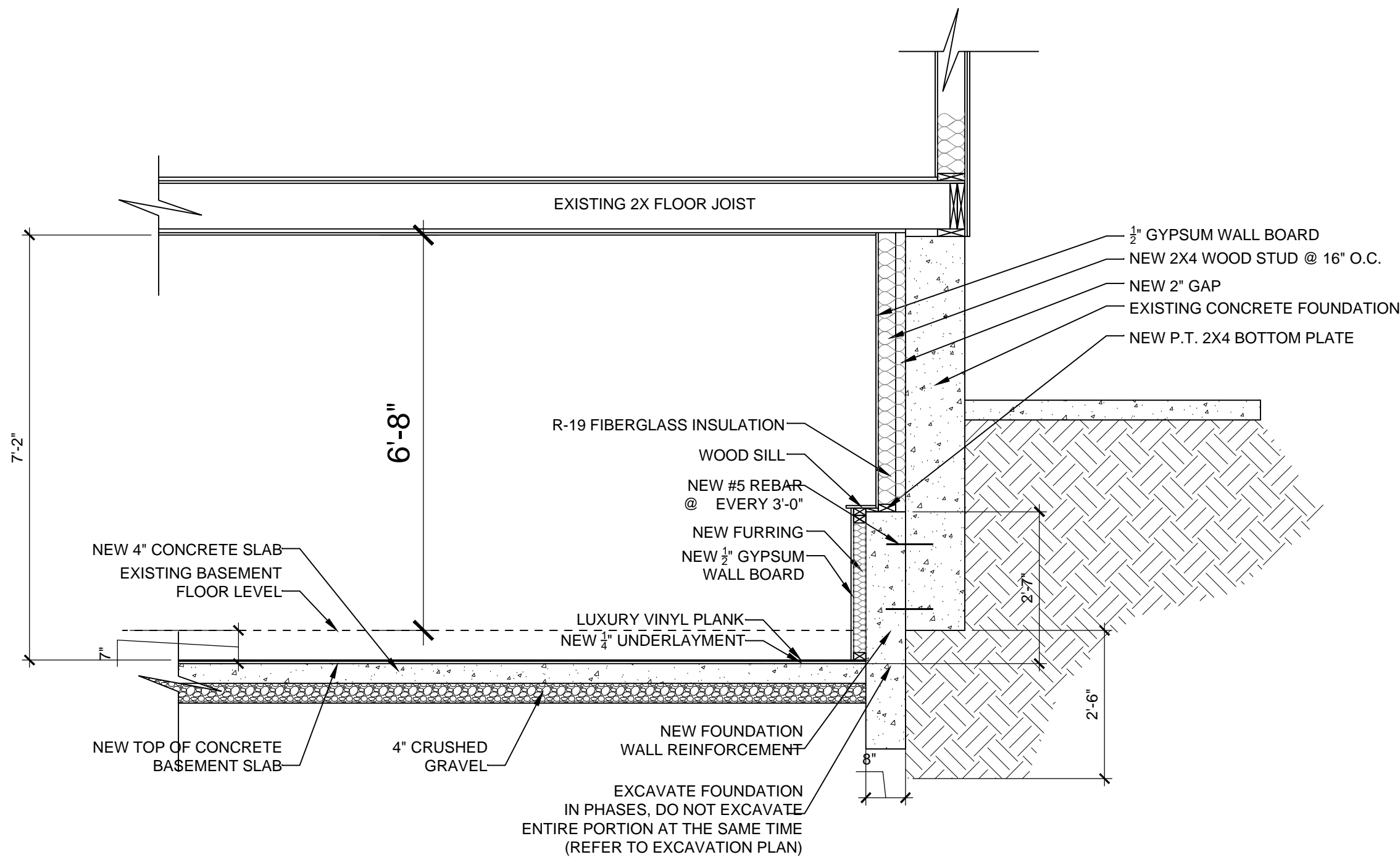
3  
S-1



PROPOSED WINDOW WELL DETAIL

SCALE: 1/2"=1'-0"

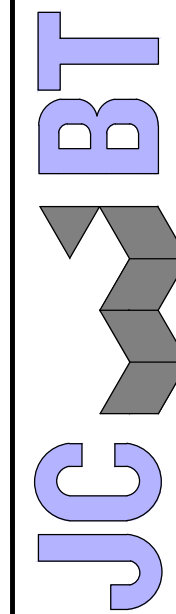
2  
S-1



PROPOSED FOUNDATION REINFORCEMENT DETAIL

SCALE: 1/2"=1'-0"

3  
S-1

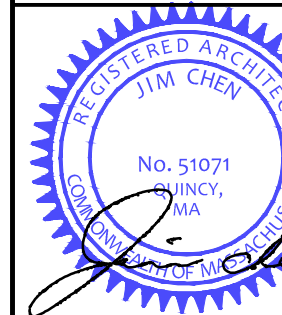


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ADMIN@JCBTARCHITECT.COM  
TEL: (617) 404-8182

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1	TN	FLOOR PLANS	12/12/2023

PROJECT

EXISTING  
TWO-FAMILY ALTERATION

71-73 EGERTON ROAD  
ARLINGTON, MA

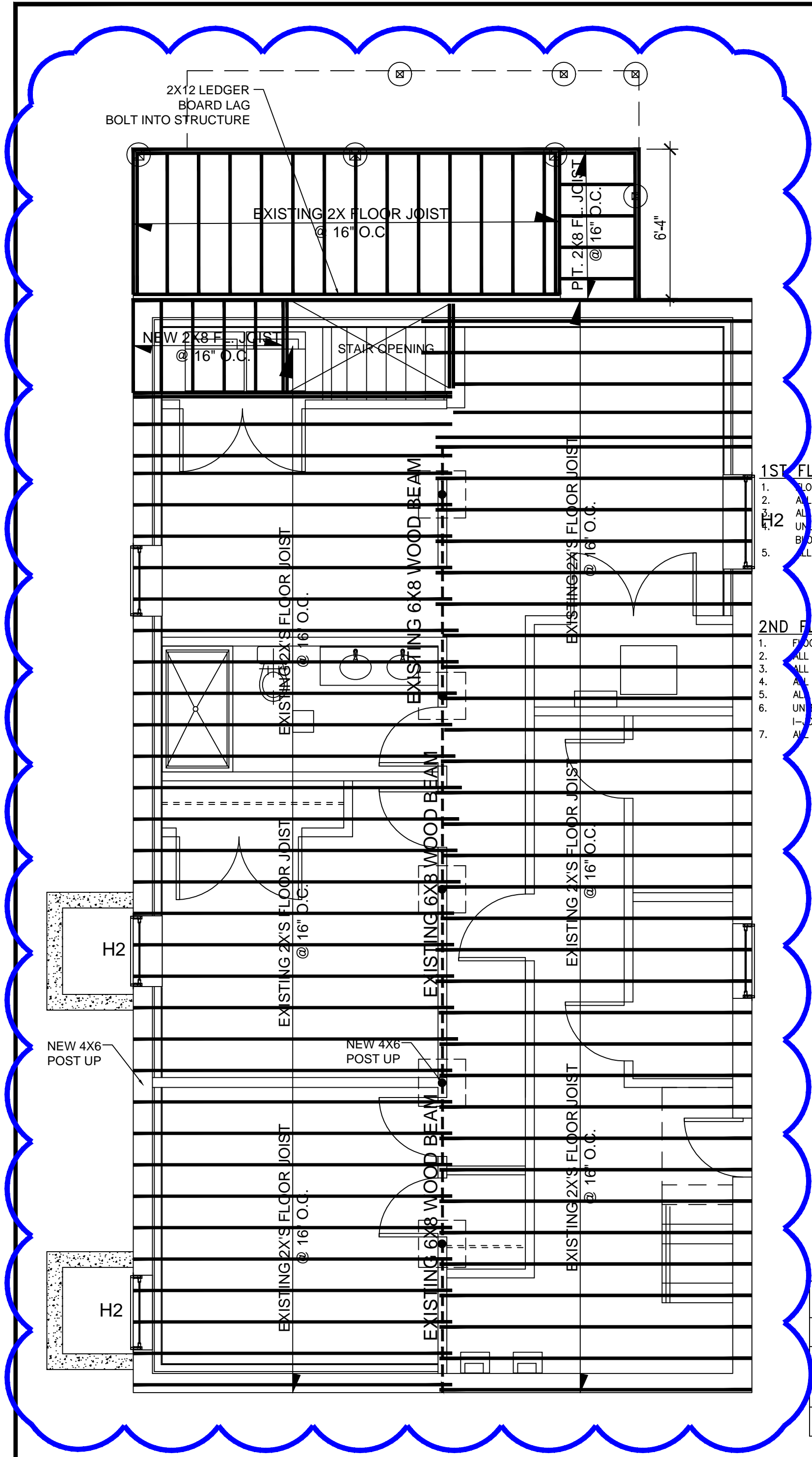
PROJECT NO. 23102

SHEET TITLE

PROPOSED  
FOUNDATION  
UNDERPINNING

DRAWN:	DRAWING NO:
SCALE: NOTED	
DATE:	
CHECKED:	
SHEET OF	S1





**1ST FLOOR FRAMING PLAN NOTES:**

1. FLOOR SHEATHING: EXISTING SUB-FLOOR
2. ALL 2x FRAMING ARE EXISTING
3. ALL JOISTS TO ALIGN WITH INTERIOR WALL STUDS
4. UNLESS FASTENED WITH HANGERS TO A FLUSH HEADER/BREAM, INSTALL SOLID 2X10 BLOCKING BETWEEN JOISTS OVER BEARING WALLS OR DROPPED BEAMS.
5. ALL FLUSH FRAMING SHALL BE CONNECTED WITH PREFABRICATED LIGHT GAUGE HANGERS

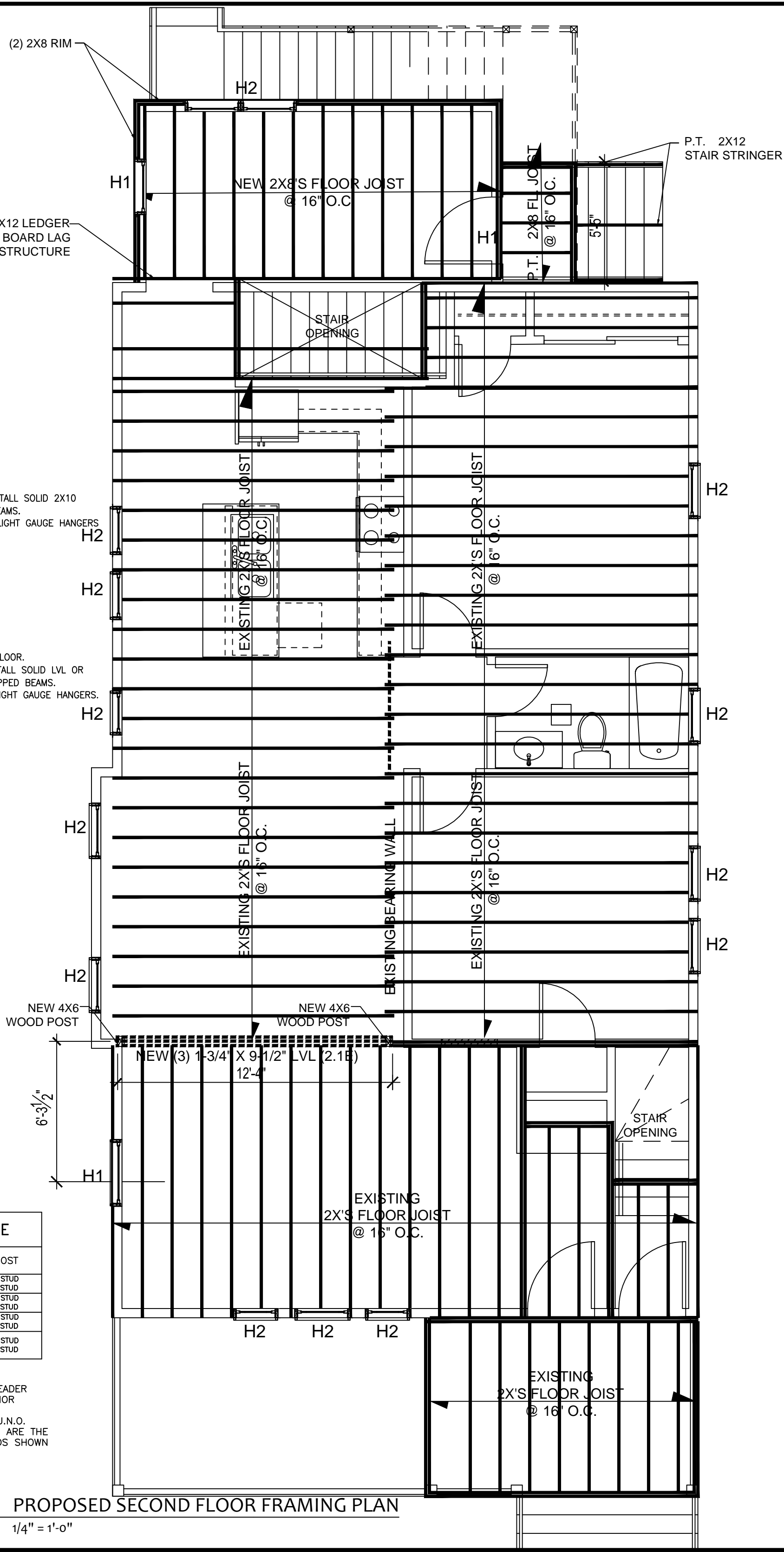
**2ND FLOOR FRAMING PLAN NOTES:**

1. FLOOR SHEATHING: EXISTING SUB-FLOOR
2. ALL 2x FRAMING ARE EXISTING
3. ALL 2x FRAMING TO BE SPF NO. 1
4. ALL JOISTS TO ALIGN WITH INTERIOR AND EXTERIOR WALL STUDS
5. ALL WALL STUDS AT EXTERIOR WALLS TO ALIGN FROM FLOOR TO FLOOR.
6. UNLESS FASTENED WITH HANGERS TO A FLUSH HEADER/BREAM, INSTALL SOLID LVL OR I-JOIST BLOCKING BETWEEN JOISTS OVER BEARING WALLS OR DROPPED BEAMS.
7. ALL FLUSH FRAMING SHALL BE CONNECTED WITH PREFABRICATED LIGHT GAUGE HANGERS.

**TYP. TIMBER HEADER SCHEDULE**

DESIGNATION	TYPE	JAMB/POST
H0	(2)-2"x6"	(2) JACK STUD (1) KING STUD
H1	(2)-2"x8"	(2) JACK STUD (1) KING STUD
H2	(2)-2"x10"	(2) JACK STUD (1) KING STUD
H3	EXISTING TO REMAIN	(2) JACK STUD (1) KING STUD

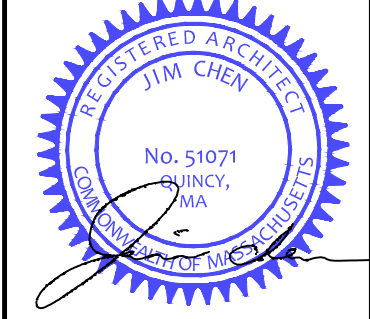
- NOTE:
1. SHIM HEADERS FULL W/ 1/2" PLYWOOD SUCH THAT HEADER WIDTH IS FLUSH WITH STUDS AT INTERIOR AND EXTERIOR SURFACES.
  2. JAMB POSTS TO BE CONTINUOUS TO FNDN BELOW, U.N.O.
  3. WHERE POSTS ARE REQUIRED PROVIDE POSTS WHICH ARE THE SAME WIDTH AS THE BEAM AND DEPTH OF JACK STUDS SHOWN



**PROPOSED SECOND FLOOR FRAMING PLAN**

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NO.	BY	DESCRIPTION	DATE
1	TN	FLOOR PLANS	12/12/2023

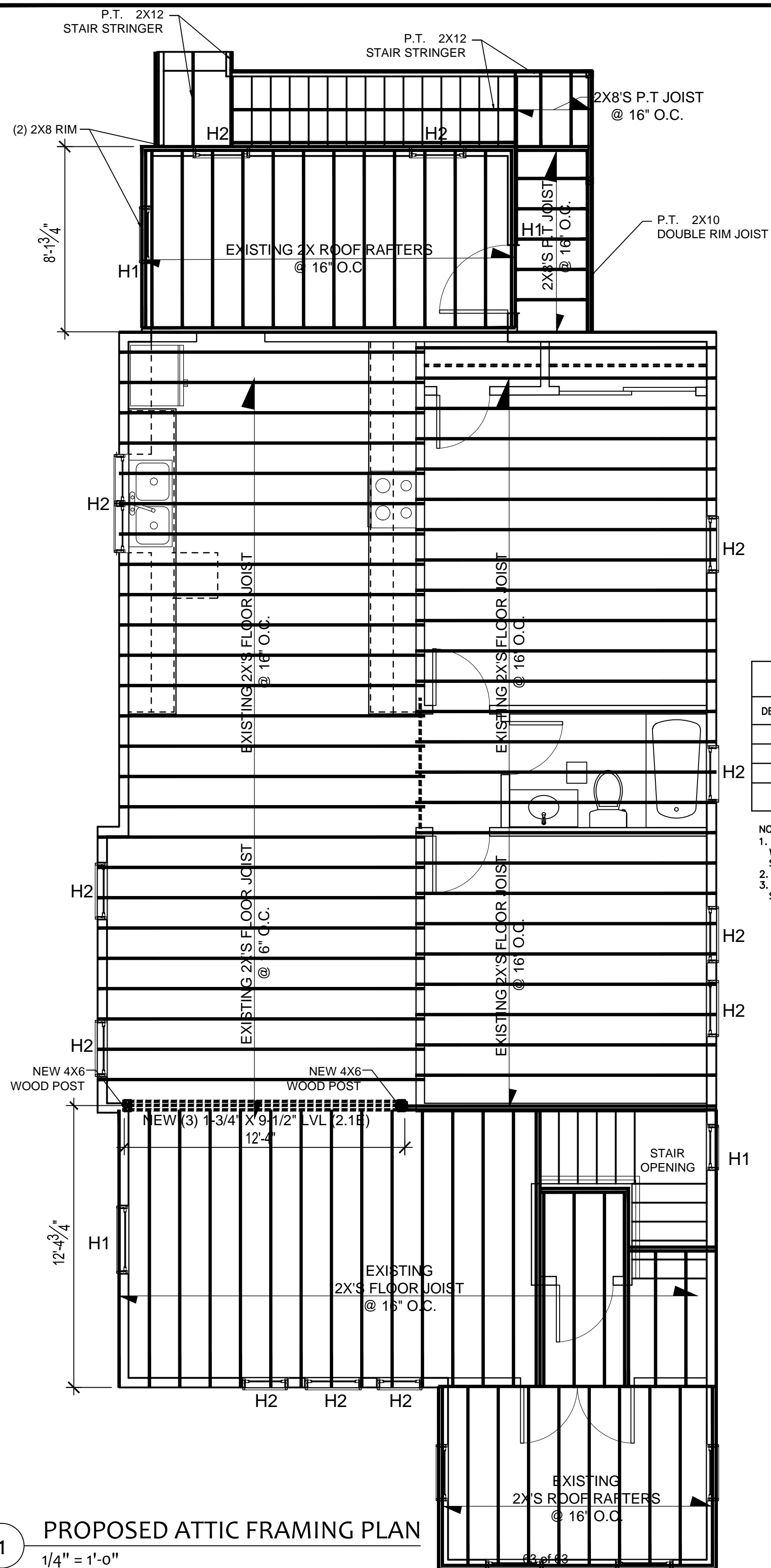
**PROJECT**

EXISTING  
TWO-FAMILY ALTERATION  
  
71-73 EGERTON ROAD  
ARLINGTON, MA  
  
PROJECT NO. 23102

**SHEET TITLE**

PROPOSED  
FRAMING  
PLANS

DRAWN	DRAWING NO.
SCALE: NOTED	
DATE	
CHECKED	
SHEET OF	S2



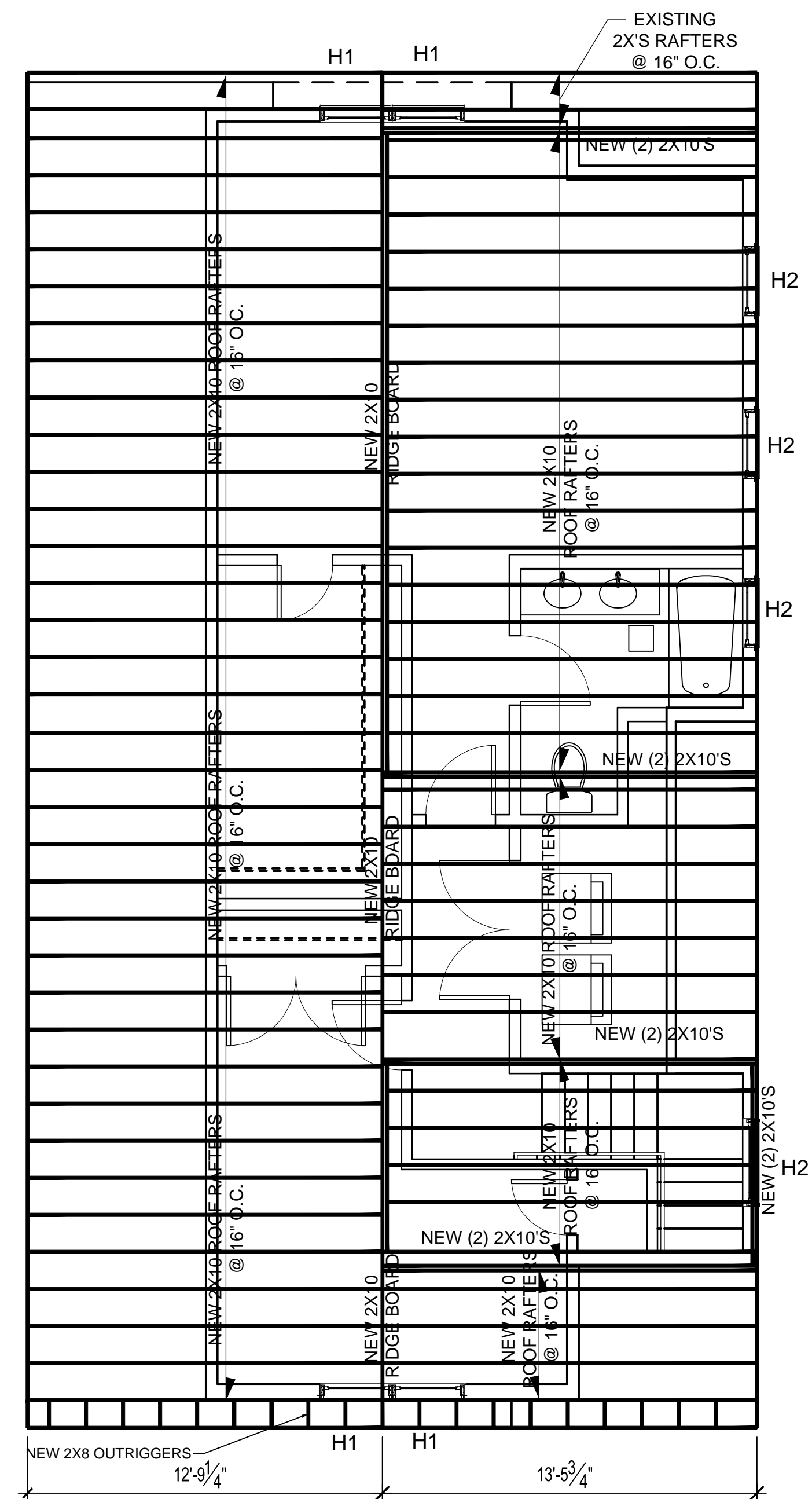
ATTIC FLOOR FRAMING PLAN NOTES:

1. FLOOR SHEATHING: EXISTING SUBFLOOR
2. ALL 2x FRAMING ARE EXISTING
3. ALL 2x FRAMING TO BE SPF NO. 1
4. ALL JOISTS TO ALIGN WITH INTERIOR AND EXTERIOR WALL STUDS
5. ALL WALL STUDS AT EXTERIOR WALLS TO ALIGN FROM FLOOR TO FLOOR.
6. UNLESS FASTENED WITH HANGERS TO A FLUSH HEADER/BEAM, INSTALL SOLID LVL OR I-JOIST BLOCKING BETWEEN JOISTS OVER BEARING WALLS OR DROPPED BEAMS.
7. ALL FLUSH FRAMING SHALL BE CONNECTED WITH PREFABRICATED LIGHT GAUGE HANGERS.

TYP. TIMBER HEADER SCHEDULE		
DESIGNATION	TYPE	JAMB/POST
H0	(2) -2"x6"	(2) JACK STUD (1) KING STUD
H1	(2) -2"x8"	(2) JACK STUD (1) KING STUD
H2	(2) -2"x10"	(2) JACK STUD (1) KING STUD
H3	EXISTING TO REMAIN	(2) JACK STUD (1) KING STUD

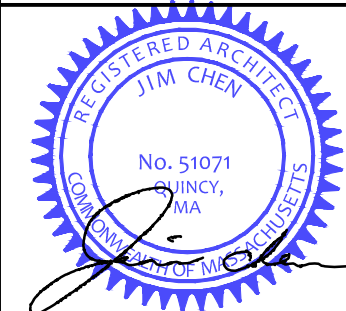
**NOTE:**

- NOTE:
1. SHIM HEADERS FULL W/ 1/2" PLYWOOD SUCH THAT HEADER WIDTH IS FLUSH WITH STUDS AT INTERIOR AND EXTERIOR SURFACES.
  2. JAMB POSTS TO BE CONTINUOUS TO FNDN BELOW, U.N.O.
  3. WHERE POSTS ARE REQUIRED PROVIDE POSTS WHICH ARE THE SAME WIDTH AS THE BEAM AND DEPTH OF JACK STUDS SHOWN



ROOF FRAMING PLAN NOTES:

1. ROOF SHEATHING: EXISTING ROOF SHEATHING
2. ALL 2x FRAMING ARE EXISTING
3. ALL 2x FRAMING TO BE SPF NO. 1
4. ALL RAFTERS TO ALIGN WITH INTERIOR AND EXTERIOR WALL STUDS.
5. ALL WALL STUDS AT EXTERIOR WALLS TO ALIGN FROM FLOOR TO FLOOR.
6. UNLESS FASTENED WITH HANGERS TO A FLUSH HEADER/BEAM, INSTALL SOLID 2X8 BLOCKING BETWEEN RAFTERS OVER BEARING WALLS OR DROPPED BEAMS.

[illegible]